

DEVELOPMENT PRELIMINARY SITE PLAN

930 NORTH HENRY STREET

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA = 0.8216 AC 35,792 SF
TOTAL AREA OF TAX PARCEL = 0.8216 AC 35,792 SF
TOTAL EXISTING IMPERVIOUS AREA = 0.6024 AC 26,241 SF
TOTAL PROPOSED IMPERVIOUS AREA = 0.5812 AC 25,318 SF
TOTAL DISTURBED AREA = 0.8216 AC 35,792 SF

ZONING TABULATIONS

SITE ADDRESS: 930 NORTH HENRY STREET, ALEXANDRIA VA, 22314 (BLOCK 3)
TAX MAP NUMBERS: 054.01-03-05
EXISTING PARCEL AREA: BLOCK 3 35,792 SQ. FT. (0.8216 AC.) (MEASUREMENT)
35,791 SQ. FT. (0.8216 AC.) (REAL ESTATE RECORDS)

EXISTING ZONE: CRMU-H
PROPOSED ZONE: CRMU-H
EXISTING USE: (I.1) HOMELESS SHELTER
PROPOSED USE: (I.1) HOMELESS SHELTER
(B) MULTIFAMILY

GROSS FLOOR AREA: HOMELESS SHELTER (OFFICE) = 17,220 SF
MULTIFAMILY = 109,712 SF
BOH/LOADING = 1,165 SF
TOTAL = 128,097 SF
(TOTAL INCLUDING GARAGE = 163,548 SF)

NET FLOOR AREA: HOMELESS SHELTER (OFFICE) = 17,135 SF
MULTIFAMILY = 86,010 SF
BOH/LOADING = 1,165 SF
TOTAL = 104,310 SF

FLOOR AREA RATIO: 104,310 / 35,792 = 2.91*
*FAR IS INCREASED THROUGH THE USE OF SECTION 7-700 WITH THE PROVISION OF AFFORDABLE HOUSING

MAXIMUM BUILDING HEIGHT: 50' TO 90'

UNITS: HOMELESS SHELTER = 16 UNITS
MULTIFAMILY = 98 UNITS
TOTAL = 114 UNITS

BUILDING HEIGHTS PROVIDED: MULTIFAMILY BUILDING: 31' TO 85'

OPEN SPACE REQUIRED: 40%

OPEN SPACE PROPOSED:
GROUND LEVEL 8,793 SF (0.20 AC) - 61% OF OPEN SPACE
LEVEL 2 4,428 SF (0.10 AC) - 30% OF OPEN SPACE
LEVEL 3 1,235 SF (0.03 AC) - 9% OF OPEN SPACE
TOTAL 14,320 SF (0.33 AC) - 40% OF SITE AREA

AVERAGE FINISHED GRADE: 48.17'

TRIP GENERATION

EXISTING TRIP GENERATION: 18 UNITS X 2.74 TRIPS/UNITS/DAY* = 50 TRIPS/DAY

PROPOSED TRIP GENERATION:
HOMELESS SHELTER: 18 UNITS X 2.74 TRIPS/UNIT/DAY* = 50 TRIPS/DAY
MULTIFAMILY BUILDING: 57 UNITS** X 6.65 TRIPS/UNIT/DAY* = 349 TRIPS/DAY
TOTAL = 399 TRIPS/DAY

*BASED ON ITE TRIP GENERATION MANUAL SUGGESTED VALUE FOR MULTIFAMILY UNITS
** ADJUST FOR 60% AMI RATE

PARKING TABULATIONS

PARKING REQUIRED:

60% AMI RATE 0.75 SP / UNIT
50% AMI RATE 0.65 SP / UNIT
31 BICYCLE PARKING SPACES REQUIRED

REQUIRED:

EXISTING/PROPOSED CARPENTER'S SHELTER PER PREVIOUS PDSUP 97-0196*** = 21 SPACES
HALF OF HOUSING UNITS AT 60% AMI: (0.75 SP / UNIT) x 49 UNITS = 30 SPACES****
HALF OF HOUSING UNITS AT 50% AMI: (0.65 SP / UNIT) x 49 UNITS = 25 SPACES****

***FLOOR AREA OF CARPENTER SHELTER WILL BE THE SAME IN BOTH THE EXISTING AND PROPOSED CONDITION.
****HOUSING PARKING RATIOS UTILIZE 10% REDUCTION FOR BEING WITHIN 0.5 MILES OF METRO STATION, 5% REDUCTION FOR WALKABILITY SCORE OF 84 AND 5% REDUCTION FOR BEING WITHIN 1/4 MILE OF 4 OR MORE BUS STOPS

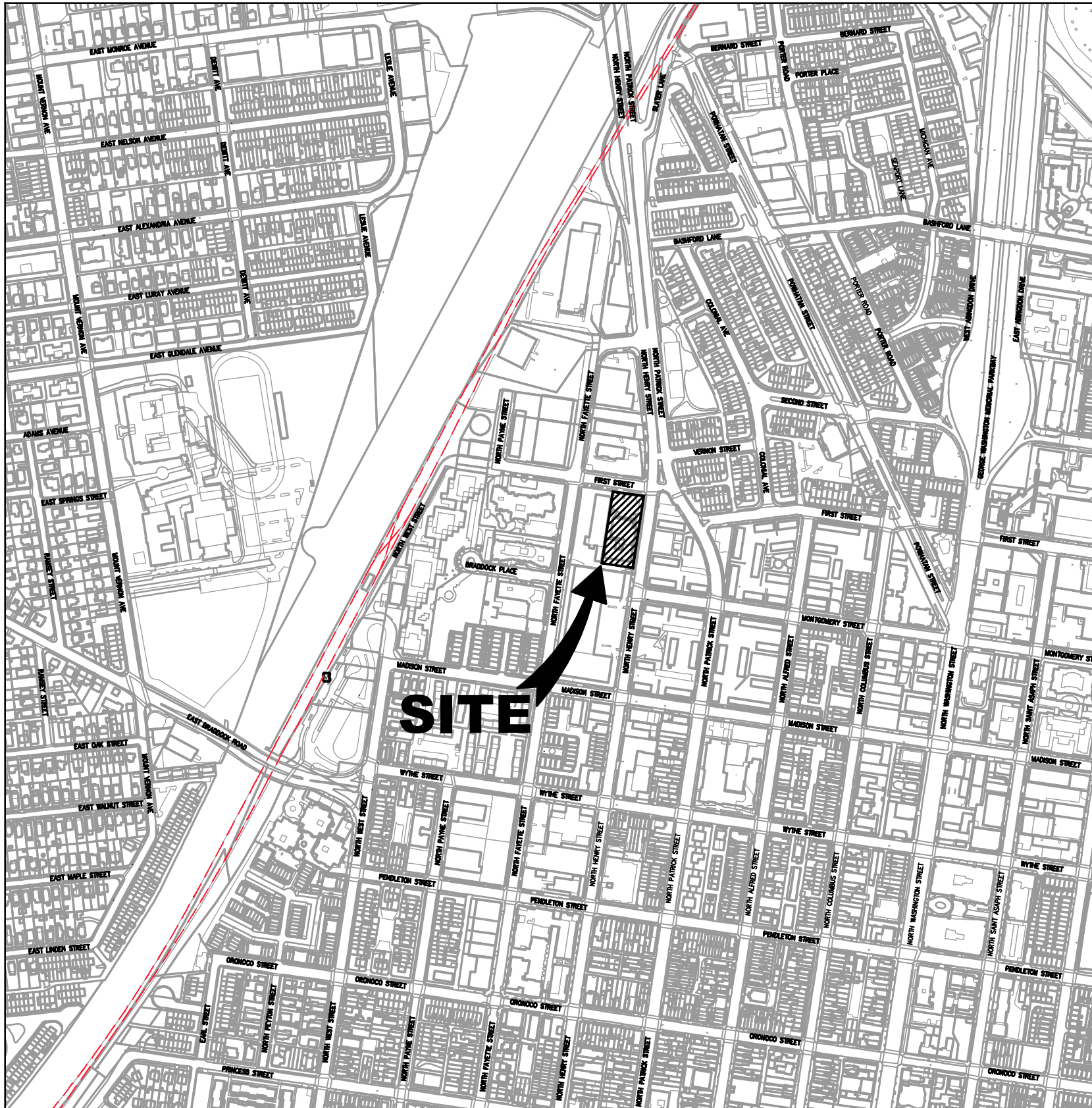
PARKING PROVIDED:

COMPACT PARKING SPACES = 31 SPACES
STANDARD PARKING SPACES = 42 SPACES
HANDICAP PARKING SPACES = 5 SPACES
TOTAL PARKING SPACES = 78 SPACES

TOTAL = 76 REQUIRED, 78 CURRENTLY PROVIDED

LOADING TABULATIONS

NO RETAIL PROPOSED, NO LOADING REQUIREMENT
ONE (1) LOADING SPACE PROVIDED.



VICINITY MAP

SCALE : 1" = 500'

OWNER

CARPENTER'S SHELTER
930 N. HENRY STREET
ALEXANDRIA, VA 22314
ATTN: JON D. FREDERICK
PHONE: (703) 739-7775

CIVIL ENGINEER

BOWMAN CONSULTING GROUP
888 17TH STREET, NW SUITE 510
WASHINGTON, DC 20006
ATTN: MARK STIRES P.E., PRINCIPAL
MATT SEINENMAN, P.E., PROJECT MANAGER
PHONE: (202) 750-2474

LANDSCAPE ARCHITECT

BOWMAN CONSULTING GROUP
14020 THUNDERBOLT PLACE, SUITE 300
CHANTILLY, VA 20151
ATTN: JACK STORY
PHONE: (703)-464-1043

ATTORNEY

LAND, CARROLL, & BLAIR
524 KING STREET
ALEXANDRIA, VA 22314
ATTN: DUNCAN BLAIR
PHONE: (703) 595-2037

ARCHITECT

COOPER CARRY
625 N WASHINGTON ST, SUITE 200
ALEXANDRIA, VIRGINIA 22314
ATTN: JESSICA BURGARD
PHONE: (703) 519-6152

SHEET INDEX

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(33 TOTAL SHEETS)

PROJECT NARRATIVE

THE SITE IS CURRENTLY ZONED CRMU-H AND CONSISTS OF A HOMELESS SHELTER AND EXISTING ROAD AND UTILITY INFRASTRUCTURE. THE PROJECT PROPOSES THE CONSTRUCTION OF 7-STORY BUILDING; SITE TO REMAIN ZONED AS CRMU-H. ADDITIONALLY, 1-STORY OF UNDERGROUND PARKING AND SUPPORT UTILITY INFRASTRUCTURE IS PROPOSED FOR CONSTRUCTION.

SPECIAL USE PERMITS/MODIFICATIONS REQUESTED:

- A MODIFICATION TO PERMIT ENCROACHMENT INTO THE REQUIRED 75-FOOT SIGHT TRIANGLE TO BE REDUCED TO 70.94-FOOT SIGHT TRIANGLE.
- A SPECIAL USE PERMIT TO AN INCREASE IN THE NUMBER OF PENTHOUSE.
- THE USE OF A TIER ONE TRANSPORTATION MANAGEMENT PLAN.
- THE USE OF THE CRMU-H ZONE TO INCREASE THE FAR FROM 2.0 TO 2.5.
- THE USE OF SECTION 7-700 WITH THE PROVISION OF AFFORDABLE HOUSING TO INCREASE FAR FROM 2.5 TO 2.91 (16% OF THE MAXIMUM 20% INCREASE).
- A MODIFICATION OF THE ZONE TRANSITION IN THIS AREA.
- A MODIFICATION OF THE CROWN COVERAGE OF 25% FOR THE OVERALL PROJECT SITE.
- A MODIFICATION OF THE HEIGHT TO CENTER LINE SETBACK.

FIRE FLOW

INFORMATION SHALL PROVIDED BY VIRGINIA AMERICAN WATER AT A LATER DATE.

SOILS INFORMATION

A GEOTECHNICAL REPORT FOR THIS SITE SHALL BE PROVIDED AT A LATER DATE. NO ON-SITE CONTAMINATION IS KNOWN OF AT THIS TIME. THE SOIL MAP UNIT NAME PER THE NATIONAL WEB SOIL SURVEY IS URBAN LAND AND WILL BE UNDER THE D TYPE SOIL RATING.

EXISTING TOPOGRAPHY NOTE

THE TOPOGRAPHY SHOWN HEREON IS A COMBINATION OF CITY OF ALEXANDRIA RECORDS AND FIELD RUN SURVEY PERFORMED BY BOWMAN CONSULTING GROUP AND DATED JUNE 6, 2014.

RPA NOTE:

THERE ARE NO RPA'S ON THIS SITE ACCORDING TO CITY OF ALEXANDRIA RECORD MAPS. THERE ARE NO WETLANDS THAT HAVE BEEN LOCATED ON THIS SITE.

GREEN BUILDING NOTE

THE PROPOSED BUILDING WILL COMPLY WITH THE CITY OF ALEXANDRIA GREEN BUILDING POLICY.

FLOODPLAIN NOTE

THE PROPERTY SHOWN HEREON IS NOT IN A 100-YEAR FLOODPLAIN. IT LIES IN ZONE "X" (UN-SHADED)(AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR CITY OF ALEXANDRIA, VIRGINIA, COMMUNITY-PANEL NUMBER 5155190033E, MAP REVISED JUNE 16, 2011.

SWM NARRATIVE

THE SITE PROPOSES TO COMPLY WITH ALL STORMWATER MANAGEMENT REQUIREMENTS FOR QUANTITY AND QUALITY WITHIN THE CITY OF ALEXANDRIA AND THE STATE OF VIRGINIA. DETAILED STORMWATER MANAGEMENT SHALL BE SHOWN ON THE NEXT SUBMISSION.

ZONING COMPLIANCE TABLE: CRMU-H

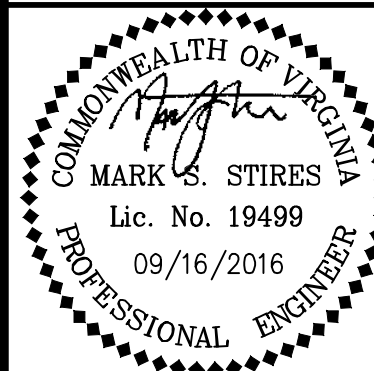
	REQUIRED/PERMITTED	PROVIDED
FAR:	2.95 MAX*	2.91*
SETBACKS:	18'	16' MIN

*FAR IS INCREASED THROUGH THE USE OF SECTION 7-700 WITH THE PROVISION OF AFFORDABLE HOUSING.

Bowman
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COVER SHEET
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



PLAN STATUS	
02/15/16	CONCEPT I
04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2

DATE	DESCRIPTION
CNN DESIGN	CNN DRAWN MCS CHKD
SCALE:	AS SHOWN
JOB No.	6016-03-001
DATE	JULY, 2016
FILE No.	6016-PDSUP-001

SHEET C1.00

GENERAL NOTES:

- OWNER: ALEXANDRIA HOUSING DEVELOPMENT CORPORATION (AHC), 601 NORTH PITT STREET, SUITE 121, ALEXANDRIA, VA 22314.
2. THERE ARE NO RPA'S ON THIS SITE ACCORDING TO CITY OF ALEXANDRIA RECORD MAPS. THERE ARE NO FLAGGED WETLANDS LOCATED ON THIS SITE.
3. ALL UTILITIES SERVING THIS SITE WILL BE UNDERGROUND.
4. FIREFLOW INFORMATION SHALL BE PROVIDED BY VIRGINIA AMERICAN WATER COMPANY AT A LATER DATE.
5. ALL WATER FACILITY CONSTRUCTION SHALL CONFORM TO VIRGINIA AMERICAN WATER COMPANY STANDARDS AND SPECIFICATIONS.
6. CONTRACTOR SHALL CONTACT VIRGINIA AMERICAN WATER COMPANY AT (703) 549-7080 TO COORDINATE CONSTRUCTION AND INSPECTION OF WATER.
7. ELECTRIC POWER WILL BE PROVIDED BY DOMINION VIRGINIA POWER. ALL CONSTRUCTION WORK TO BE COORDINATED WITH DVP PRIOR TO CONSTRUCTION.
8. ONSITE GAS DISTRIBUTION WILL BE IN ACCORDANCE WITH WASHINGTON GAS & LIGHT REQUIREMENTS. ALL CONSTRUCTION WORK TO BE COORDINATED WITH WASHINGTON GAS PRIOR TO CONSTRUCTION.
9. THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS.
10. A GEOTECHNICAL REPORT SHALL BE SUBMITTED WITH BUILDING PERMIT APPLICATIONS. NO ON-SITE CONTAMINATION IS KNOWN OF AT THIS TIME. TO THE BEST OF OUR KNOWLEDGE, MARINE CLAYS ARE NOT PRESENT ON THE PROJECT SITE.
11. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO UNDERGROUND STORAGE TANKS; AREAS LOCATED WITHIN 1,000 FT OF A FORMER SANITARY LANDFILL, DUMP OR DISPOSAL AREA; AND AREAS WITH THE POTENTIAL OF GENERATING COMBUSTIBLE GASES.
12. NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE.
13. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF, IN ACCORDANCE WITH USBC 119.0. CERTIFICATES OF OCCUPANCY WILL NOT BE ISSUED FOR THIS PROPERTY UNTIL THE FINAL ARCHAEOLOGICAL REPORT HAS BEEN RECEIVED AND APPROVED BY THE CITY ARCHAEOLOGIST.
14. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OF LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO CODE ENFORCEMENT THAT WILL OUTLINE THE STEPS THAT WILL TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS.
15. ROOF DRAINAGE SYSTEMS MUST BE INSTALLED SO AS NEITHER TO IMPACT UPON, NOR CAUSE EROSION/DAMAGE TO, ADJACENT PROPERTY.
16. SHEETING AND SHORING SHALL NOT EXTEND BEYOND THE PROPERTY LINE, EXCEPT WHEN THE DEVELOPER HAS OBTAINED WRITTEN RELEASE FROM ADJACENT PROPERTY OWNERS WHICH HAS BEEN RECORDED IN THE LAND RECORDS; OR THROUGH AN APPROVED ENCROACHMENT PROCESS.
17. CONSTRUCTION STAGING OF MATERIALS SHALL REMAIN CLEAR OF EMERGENCY VEHICLE EASEMENTS, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS AT ALL TIMES.
18. ANY INCONSISTENCIES BETWEEN THE VARIOUS DRAWINGS SUBMITTED BY THE APPLICANT SHALL BE RECONCILED BY THE APPLICANT TO THE SATISFACTION OF THE DIRECTORS OF PLANNING AND ZONING & TRANSPORTATION AND ENVIRONMENTAL SERVICES.
19. A TEMPORARY INFORMATIONAL SIGN SHALL BE INSTALLED ON THE SITE PRIOR TO THE APPROVAL OF THE FINAL SITE PLAN FOR THE PROJECT AND SHALL BE DISPLAYED UNTIL CONSTRUCTION IS COMPLETE OR REPLACED WITH A MARKETING SIGN INCORPORATING THE REQUIRED INFORMATION. THE SIGN SHALL NOTIFY THE PUBLIC OF THE NATURE OF THE UPCOMING PROJECT AND SHALL PROVIDE A PHONE NUMBER FOR PUBLIC QUESTIONS REGARDING THE PROJECT. (P&Z)
20. DURING THE CONSTRUCTION PHASE OF THIS DEVELOPMENT, THE SITE DEVELOPER, THEIR CONTRACTORS, CERTIFIED LAND DISTURBER, OR OWNER'S OTHER AGENT SHALL IMPLEMENT A WASTE AND REFUSE CONTROL PROGRAM. THIS PROGRAM SHALL CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER OR TRASH, TRASH GENERATED BY CONSTRUCTION WORKERS OR MOBILE FOOD VENDOR BUSINESSES SERVING THEM, AND ALL SANITARY WASTE AT THE CONSTRUCTION SITE AND PREVENT OFFSITE MIGRATION THAT MAY CAUSE ADVERSE IMPACTS TO NEIGHBORING PROPERTIES OR TO THE ENVIRONMENT TO THE SATISFACTION OF DIRECTORS OF TRANSPORTATION AND ENVIRONMENTAL SERVICES AND CODE ENFORCEMENT. ALL WASTES SHALL BE PROPERLY DISPOSED OFFSITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.
21. PERFORMANCE BOND FOR BMPs SHALL NOT BE RELEASED UNTIL ALL DRAINAGE AREA FLOWING INTO THE BMP IS DEVELOPED. PRIOR TO RELEASE OF THE PERFORMANCE BOND THE APPLICANT(S) IS REQUIRED TO SUBMIT A CERTIFICATION BY A QUALIFIED PROFESSIONAL TO THE SATISFACTION OF THE DIRECTOR OF T&ES THAT ANY EXISTING STORM WATER MANAGEMENT FACILITIES ADJACENT TO THE PROJECT(S) AND ASSOCIATED CONVEYANCE SYSTEMS WERE NOT ADVERSELY AFFECTED BY CONSTRUCTION OPERATIONS AND THAT THEY ARE FUNCTIONING AS DESIGNED AND ARE UNAFFECTED BY CONSTRUCTION ACTIVITIES. IF MAINTENANCE FOR THE FACILITY OR SYSTEMS WERE REQUIRED IN ORDER TO MAKE THIS CERTIFICATION, PROVIDE A DESCRIPTION OF THE MAINTENANCE MEASURES PERFORMED.
22. THE APPLICANT SHALL FUND, OR SHALL REQUIRE THAT INDIVIDUAL BUILDERS AND OWNERS WITHIN THE PROJECT TO FUND A TRANSPORTATION FUND, AT AN ANNUAL RATE OF \$0.12 PER NET SQUARE FOOT OF OCCUPIED RETAIL/COMMERCIAL SPACE AND \$71.96 PER OCCUPIED RESIDENTIAL UNITS. FIRST PAYMENT TO FUND SHALL BE MADE WITH THE ISSUANCE OF INITIAL CERTIFICATE OF OCCUPANCY (OR WHEN FIRST TENANT/OWNER MOVES IN). THE RATE SHALL INCREASE ANNUALLY BY AN AMOUNT EQUAL TO THE RATE OF INFLATION FOR THE PREVIOUS YEAR UNLESS A WAIVER IS OBTAINED FOR THE DIRECTOR OF T&ES. FIRST PAYMENT TO THE TMP FUND SHALL BE MADE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING.

CONSTRUCTION NOTES:

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN IN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
2. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED IF REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR CAUSING EXISTING UTILITIES TO BE DISCONNECTED.
6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER.
7. ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY OF ALEXANDRIA.
8. EXISTING WELLS SHALL BE PERMANENTLY ABANDONED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD REQUIREMENTS.
9. EXISTING SEPTIC FIELDS SHALL BE ABANDONED IN ACCORDANCE WITH VIRGINIA HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.
10. ALL OVER HEAD POLE LINES SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
11. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSION, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS.
12. THE CONTRACTOR IS TO VERIFY INVERT, SIZE AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.
13. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONTRACTOR.
14. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
15. DAMAGE TO ANY EXISTING ENTRANCES, CURB AND GUTTER, PAVEMENT OR OTHER EXISTING STRUCTURES NOT PROPOSED TO BE DISTURBED WITH THIS DEVELOPMENT, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED TO THE SATISFACTION OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION OR CITY OF ALEXANDRIA AND ANY ADJOINING OWNERS THAT MAY BE AFFECTED.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB.
17. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
18. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
19. THE DESIGN, CONSTRUCTION, FIELD PRACTICES AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF ALEXANDRIA AND ITS CURRENT ZONING ORDINANCE AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, PROVISIONS OF THE CONSTRUCTION AND ESCROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.
20. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE CITY OF ALEXANDRIA.
21. CONSTRUCTION TAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
22. ALL ON-SITE RETAINING WALLS ARE SUBJECT TO SEPARATE PERMITS TO BE OBTAINED BY THE OWNERS. THIS PLAN IS FOR LOCATION AND PROPOSED GRADING ONLY. GEOTECHNICAL AND STRUCTURAL DESIGN IS TO BE ACCOMPLISHED BY OTHERS.
23. THE CONTRACTOR IS REFERRED TO STRUCTURAL, GEOTECHNICAL, MECHANICAL AND ARCHITECTURAL PLANS FOR FOUNDATION TREATMENT INCLUDING, BUT NOT LIMITED TO, SHEETING AND SHORING FOR BUILDING EXCAVATION. WATERPROOFING FOR FILL AGAINST BUILDINGS AND LOCATION OF MECHANICAL EQUIPMENT AND CONNECTIONS AT THE FACES OF BUILDINGS.
24. SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTER AND/OR THE PONDING OF WATER ON THE ROADWAY.
25. PROPOSED PAVEMENT SECTION DEPTH(S) ARE BASED ON A CBR VALUE OF 10. LABORATORY TESTS OF SUBGRADE SOIL SHALL BE PERFORMED FOR ACTUAL DETERMINATION OF REQUIRED SUBGRADE THICKNESS PRIOR TO PAVING. IN THE CASE OF PAVEMENT PATCHES, PAVEMENT SECTION MUST MEET OR EXCEED EXISTING SECTION.
26. EMERGENCY VEHICLE EASEMENTS AND HANDICAPPED PARKING SPACES TO BE MARKED BY CITY OF ALEXANDRIA STANDARD SIGNAGE AND ADA REQUIREMENTS.
27. ALL STRIPING TO MEET MUTCD STANDARDS.
28. ALL EROSION CONTROLS SHALL CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (THIRD ADDITION 1992) AND MUST BE SUBMITTED AND APPROVED BY T&S.
29. ALL EMERGENCY VEHICLE EASEMENTS MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS (CSAP-1A).
30. ALL EARTHWORK OPERATIONS ARE TO BE PERFORMED UNDER THE FULL TIME, ON-SITE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS AND SOILS REPORT REQUIREMENTS.

GEOTECHNICAL REPORT NOTE:

CONTRACTOR IS ADVISED TO REVIEW SEPARATELY PREPARED GEOTECHNICAL REPORTS FOR DESCRIPTION OF SOILS, SUBSURFACE CONDITIONS AND FOUNDATION CRITERIA. THIS GEOTECHNICAL REPORT, PREPARED BY OTHERS, HAS BEEN SEPARATELY SUBMITTED TO THE CITY OF ALEXANDRIA FOR REVIEW.

SEWER NOTE:

THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA. THE SEWER GENERATION FROM THIS SITE IS GREATER THAN 10,000 GPD. A NEW OFFLINE SEWER IS PROPOSED WITH THIS SITE PLAN. SEE SEWER OUTFALL PLAN SHEET C6.10 FOR DETAILS.

$$114 \text{ UNITS} \times 300 \text{ GPD/UNIT} \times 4\text{PFF} = 136,800 \text{ GPD}$$

THE OUTFALL FOR THIS PROJECT DISCHARGES TO A PROPOSED 8" SEWER ALONG FIRST STREET THEN INTO A PROPOSED 8" SEWER ALONG NORTH FAYETTE STREET WHERE IT THEN TIES INTO THE EXISTING 30" CCFP POTOMAC TRUNK SEWER. THIS SITE WILL PRODUCE 0.21 CFS WITH A 4.0 PEAK FACTOR. THE 8" COLLECTING SEWER FROM THE SITE TO THE MAIN HAS A CAPACITY OF 2.26 CFS.

CITY OF ALEXANDRIA NOTES:

1. THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
2. ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FIANDER AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4996. ENVIRONMENTAL HEALTH DIVISION AT 703-746-4910.
3. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 7AM TO 6PM AND
SATURDAYS FROM 9AM TO 6PM
NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 9AM TO 6PM
AND SATURDAYS FROM 10AM TO 4PM
4. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

CONCERNING UTILITY WORKS:

NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME. ALL EXCAVATED MATERIAL TO BE REPLACED INTO THE TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF THE TRENCH. IF ANY TRENCH WORK WILL REMAIN OPEN AFTER THE END OF THE WORKDAY, ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.

STORMWATER MANAGEMENT NOTES:

THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMP(S)

- A. CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED FINAL SITE PLAN.
- B. CLEAN AND FREE OF DEBRIS, SOIL, AND LITTER BY EITHER HAVING BEEN INSTALLED OR BROUGHT INTO SERVICE AFTER THE SITE WAS STABILIZED. (T&S)
- C. AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT.

THE DEVELOPER SHALL FURNISH THE OWNERS WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT, A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMP(S) AND SUPPORTING EQUIPMENT, AND A COPY OF THE MAINTENANCE AGREEMENT WITH THE CITY.

EROSION/SEDIMENT CONTROL NOTES:

THE DEVELOPER AND CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.

T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.

ALL DISTURBED AREAS OF THE SITE THAT ARE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.

ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.

ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES
AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT
UNTIL FINAL STABILIZATION IS ACHIEVED.

DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED THROUGH AN APPROVED FILTERING DEVICE.

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDE
AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF
THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS
TO DENUDE AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL NOT BE WORKED
FOR SEVEN OR MORE CALENDAR DAYS. PERMANENT STABILIZATION SHALL BE
APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.

ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES MUST BE EMPLOYED FOR STOCKPILE AREAS.

ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 25% ARE TO BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL.

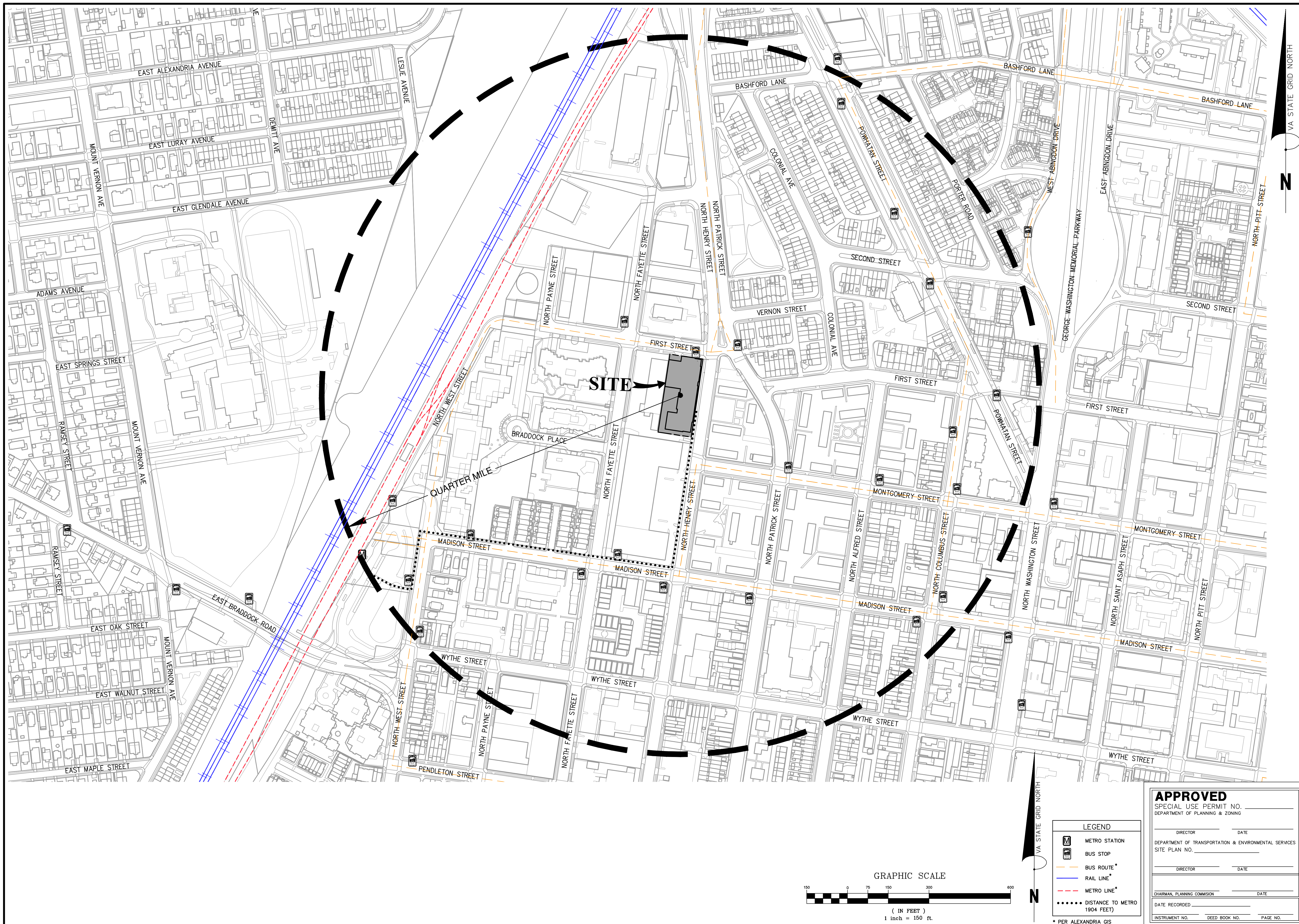
TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIVE
LINE OF THE TREE(S).

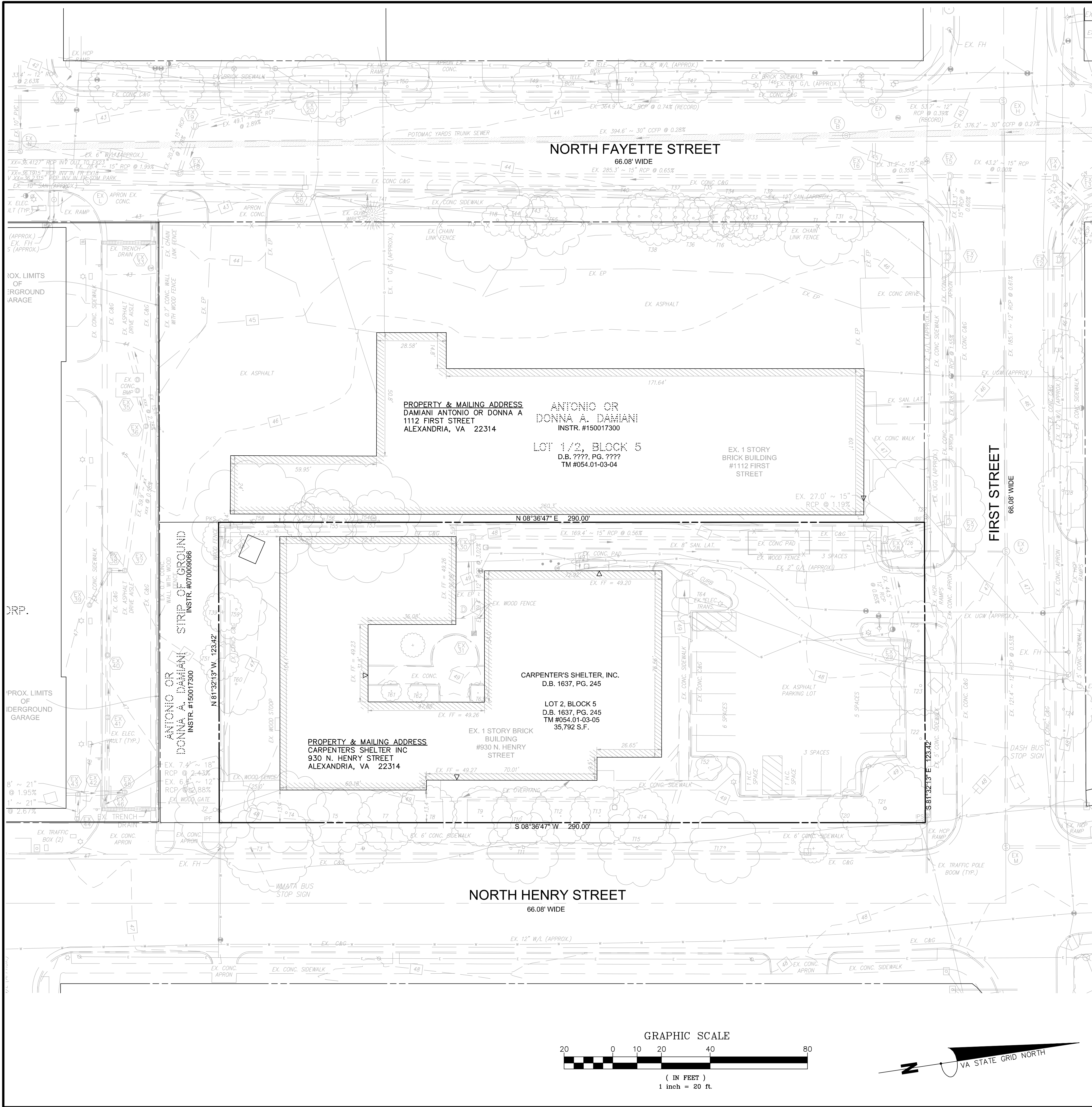
AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE REMOVED.

ARCHAEOLOGICAL NOTES:

7. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR	_____ DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
_____ DIRECTOR	_____ DATE	
CHAIRMAN, PLANNING COMMISSION		
_____ DATE RECORDED	_____ DATE	
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.





MARINE CLAY NOTE

PER RECORD FROM THE WEB SOIL SURVEY RETRIEVED ON FEBRUARY 23, 2016, THERE ARE NO MARINE CLAYS PRESENT ON SITE.

SURVEY NOTES

- THE PROPERTY DELINEATED HEREON IS SHOWN ON CITY OF ALEXANDRIA ASSESSMENT MAP AS PARCEL #054.01-03-05 AND IS ZONED GRMU/H
- THE PROPERTY IS NOW IN THE NAME OF CARPENTER'S SHELTER, INC. AS RECORDED IN DEED BOOK 1637 AT PAGE 245 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.
- THE HORIZONTAL AND VERTICAL DATUM AS REFERENCED HEREON WAS ESTABLISHED BY STATIC GPS CONTROL METHODS. THE HORIZONTAL DATUM IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS), NORTH ZONE, AND IS REFERENCED IN U.S. SURVEY FEET. VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
- THE TOPOGRAPHICAL FEATURES AS SHOWN HEREON WERE COMPILED FROM CONVENTIONAL SURVEY METHODS.
- BOUNDARY INFORMATION AS SHOWN HEREON IS COMPILED FROM EXISTING LAND RECORDS OF FAIRFAX COUNTY AND A FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. IN JANUARY, 2016. BEARINGS AND COORDINATES ARE REFERENCED TO THE VIRGINIA CO-ORDINATE SYSTEM (VCS) 1983, NORTH ZONE.
- THE PROPERTY AS SHOWN HEREON IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF RECORD AND THOSE RECORDED HERewith. BOWMAN CONSULTING GROUP, LTD. HAS NOT BEEN PROVIDED A TITLE REPORT AND THEREFORE THIS PLAT DOES NOT NECESSARILY INDICATE THE EXISTENCE OF ANY COVENANTS AND RESTRICTIONS ON THE PROPERTY.
- THE PROPERTY SHOWN HEREON LIES IN ZONES "X" (UNSHADED)(AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, "X" (SHADED)(AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR CITY OF ALEXANDRIA, VIRGINIA, COMMUNITY-PANEL NUMBER 5155190033 E, EFFECTIVE DATE JUNE 16, 2011.
- UTILITY LOCATIONS SHOWN HEREON ARE FROM OBSERVED EVIDENCE AND AVAILABLE RECORDS. ALL UNDERGROUND UTILITY LINE LOCATIONS ARE APPROXIMATE.

STORM SEWER SCHEDULE

EX 11 TOP = 45.24 12" OUT = 41.88 (To 13)	EX 21 TOP = 45.57 12" IN = 42.54 (Fr. EAST) 12" IN = 42.16 (To 13)	EX 31 TOP = 42.43 15" IN = 36.19 (Fr. 18) 18" IN = 36.23 (Fr. 34) 27" OUT = 36.41 (To 23)	EX 34 TOP = 42.04 15" IN = 37.38 (Fr. 22) 18" OUT = 36.43 (To 21)
EX 12 TOP = 45.46 12" IN = 41.51 (Fr. 11) 15" OUT = 41.26 (To 14)	EX 22 TOP = 42.15 15" OUT = 37.56 (To 34)	EX 32 TOP = 42.21 12" IN = 38.36 (Fr. SW) 12" IN = 38.91 (Fr. 32) 27" IN = 36.36 (Fr. 21) 27" OUT = 36.31 (To W)	EX 35 TOP = 44.34* XX" INV. = 37.30
EX 13 TOP = 45.14 15" IN = 40.96 (Fr. 13) 15" OUT = 40.54 (To 15)	EX 23 TOP = 42.21 12" IN = 38.36 (Fr. SW) 12" IN = 38.91 (Fr. 32) 27" IN = 36.36 (Fr. 21) 27" OUT = 36.31 (To W)	EX 32 TOP = 42.93 12" OUT = 38.53 (To 15")	EX 36 TOP = 44.56* XX" OUT = 37.75
EX 14 TOP = 45.16 15" IN = 40.41 (Fr. 14) 15" IN = 40.85 (Fr. 17) 15" OUT = 40.40 (To 16)	EX 24 TOP = 42.21 12" IN = 38.36 (Fr. SW) 12" IN = 38.91 (Fr. 32) 27" IN = 36.36 (Fr. 21) 27" OUT = 36.31 (To W)	EX 26 TOP = 42.93 12" OUT = 38.53 (To 15")	EX 36 TOP = 46.15* XX" OUT = 38.10
EX 15 TOP = 44.85 15" IN = 40.29 (Fr. 15) 12" IN = 41.71 (Fr. NE) 15" IN = 40.47 (Fr. W) 15" OUT = 40.19 (To 18)	EX 25 TOP = 42.21 12" IN = 38.36 (Fr. SW) 12" IN = 38.91 (Fr. 32) 27" IN = 36.36 (Fr. 21) 27" OUT = 36.31 (To W)	EX 27 TOP = 46.88 15" IN = 42.68 (Fr. 28) 15" OUT = 42.56 (To 17)	EX 36 TOP = 46.23* XX" INV. = 35.78
EX 16 TOP = 45.57 15" IN = 40.87 (Fr. 28) 15" OUT = 40.85 (To 15)	EX 26 TOP = 42.93 12" OUT = 38.53 (To 15")	EX 27 TOP = 46.88 15" IN = 42.68 (Fr. 28) 15" OUT = 42.56 (To 17)	EX 39 TOP = 46.98* XX" INV. = 38.66
EX 17 TOP = 45.77 15" IN = 40.87 (Fr. 28) 15" OUT = 40.85 (To 15)	EX 29 TOP = 47.93 12" OUT = 43.48 (To 28)	EX 28 TOP = 47.30 12" IN = 43.10 (Fr. 29) 15" IN = 43.17 (Fr. 30) 15" OUT = 43.00 (To 27)	EX 40 TOP = 46.91* XX" INV. = 38.36
EX 18 TOP = 43.00 IN = 37.80 (Fr. ???) 15" IN = 38.20 (Fr. 19) 15" IN = 38.33 (Fr. 16) 15" OUT = 37.75 (To 21)	EX 30 TOP = 47.77 12" IN = 44.19 (Fr. 31) 15" OUT = 44.12 (To 28)	EX 29 TOP = 47.30 12" IN = 43.10 (Fr. 29) 15" IN = 43.17 (Fr. 30) 15" OUT = 43.00 (To 27)	EX 41 TOP = 47.33* XX" INV. = 38.49
EX 19 TOP = 43.36 15" IN = 38.71 (Fr. 20) 15" OUT = 38.56 (To 18)	EX 31 TOP = 48.67 12" OUT = 45.38 (To 30)	EX 30 TOP = 47.77 12" IN = 44.19 (Fr. 31) 15" OUT = 44.12 (To 28)	EX 42 TOP = 47.39 12" IN = 45.10 (Fr. 46) 18" IN = 42.69 (Fr. 45) 21" IN = 42.19 (Fr. 43) 21" OUT = 42.16 (To. 41)
EX 20 TOP = 42.81 15" OUT = 40.13 (RECORD)	EX 32 TOP = 42.29 12" OUT = 39.79 (To 23)	EX 33 TOP = 42.68 6" PVC = 39.93 (TO WEST)	EX 43 TOP = 47.98 12" IN = 42.48 (Fr. BLDG) 21" IN = 42.81 (Fr. 44) 21" OUT = 42.42 (To. 42)

* DENOTES STRUCTURE FILLED WITH WATER/OEBRIS

SANITARY SEWER SCHEDULE

EX A TOP = 43.00 APPROX. (SHAFT 19) 10" IN = 25.03 (Fr. 0) 10" IN = 25.05 (Fr. P) 30" IN = 13.61 (Fr. B) 30" OUT = 13.53 (To SOUTH)	EX B TOP = 45.00 APPROX. (SHAFT 20) 30" IN = 14.78 (Fr. C) 30" OUT = 14.70 (To A)	EX C TOP = 46.13 APPROX. (SHAFT 21) 30" IN = 15.89 (Fr. NORTH) 30" OUT = 15.81 (To B)	EX D TOP = 45.17 12" IN = 37.04 (Fr. K) 12" IN = 37.27 (POSSIBLE STUB) 12" OUT = 37.03 (To I)	EX E TOP = 44.53 12" IN = 36.82± (Fr. H) 12" OUT = 36.82± (To J)	EX F TOP = 42.59 12" IN = 34.12 (Fr. I) 12" OUT = 34.08 (To SOUTH)	EX G TOP = 47.02 8" IN = 38.19 (LATERAL) 12" IN = 38.23 (Fr. M) 12" OUT = 38.17 (To H)	EX H TOP = 42.29 C/L = 37.54 PIPES BLOCKED	EX I TOP = 47.80 12" IN = 39.07 (Fr. NORTH) 12" OUT = 38.87 (To K)	EX J TOP = 42.85 10" IN = 26.09 (Fr. WEST) 10" OUT = 25.99 (To O)	EX K TOP = 42.70* 10" IN = 25.80 (Fr. N) 10" OUT = 25.80 (To A)	EX L TOP = 42.44 10" IN = 25.52 (Fr. BLDG) 10" OUT = 25.36 (To A)
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Bowman
CONSULTING DC

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Washington, DC 20006
Phone: (202) 750-2474
www.bowmanconsultingdc.com
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EXISTING CONDITIONS PLAN (1 OF 2)
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA

COMMONWEALTH OF VIRGINIA
MARK S. STIRES
Lic. No. 19499
09/16/2016
PROFESSIONAL ENGINEER

PLAN STATUS
02/15/16 CONCEPT I
04/15/16 CONCEPT II
08/11/16 PDSUP 1ST SUB
09/16/16 COMPLETENESS SUB #2

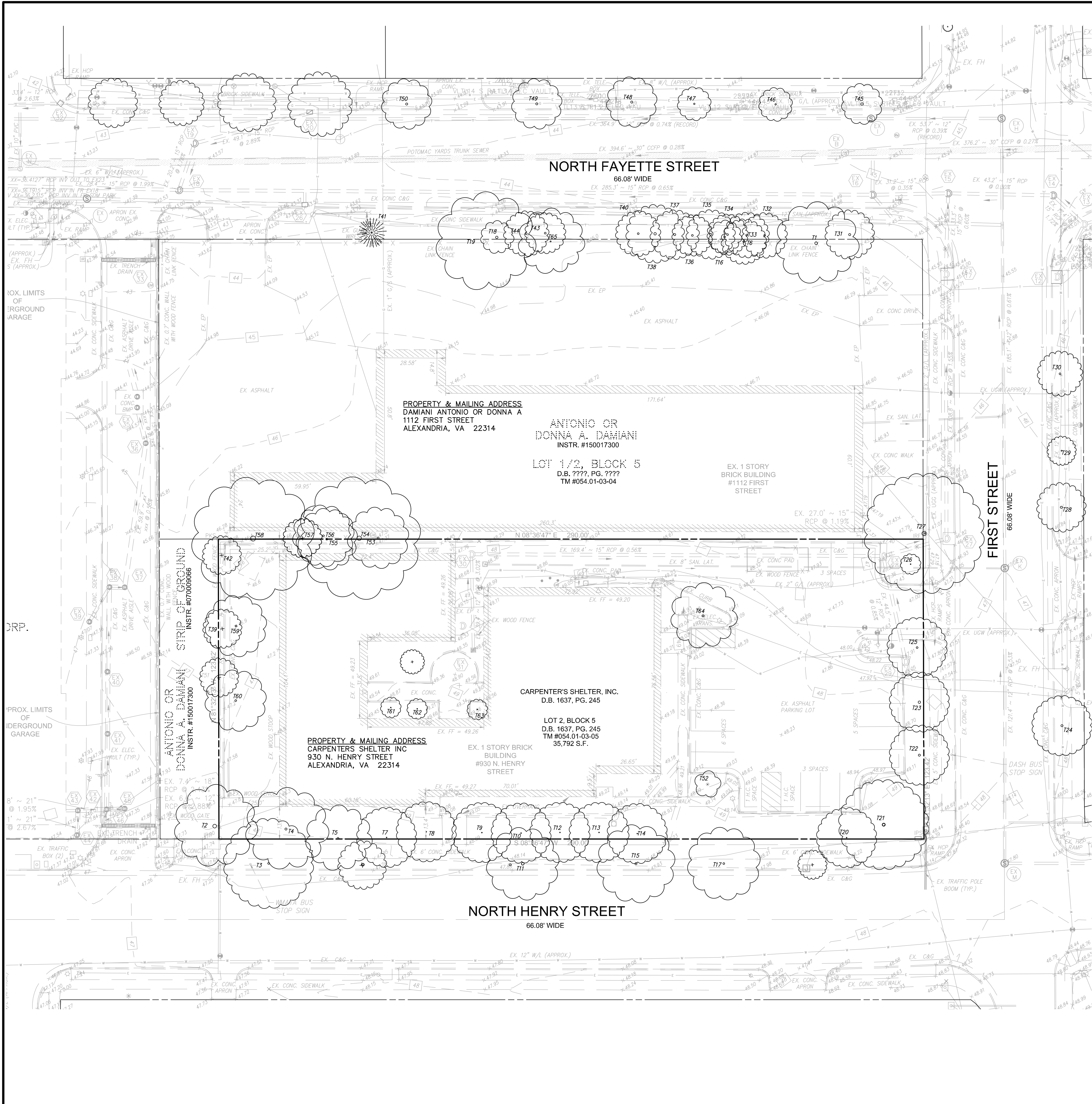
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DATE JULY, 2016
FILE No. 6016-PDSUP-001

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE		
DATE RECORDED		
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.



LEGEND



EXISTING TREE

TREE INVENTORY

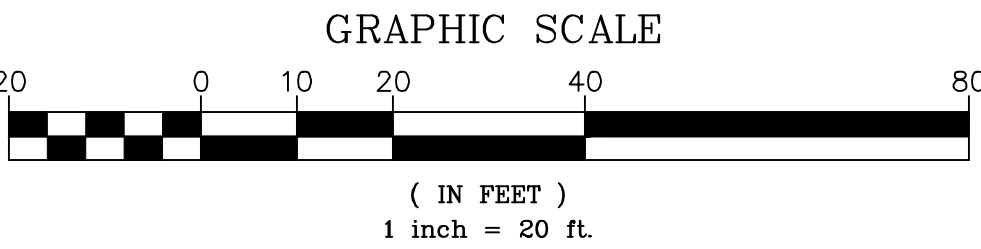
Carpenter's Shelter, Alexandria, VA

Date of site visit (s): January 29, 2015

Certified Arborist: Gregg D. Eberly, MA-4616A

Tree #	Botanic Name	Common Name	Caliper (DBH)	Condition Rating	Species Rating
1	Alanthus altsima	Tree of Heaven	13	70	30
2	Alanthus altsima	Tree of Heaven	14	40	30
3	Platanus occidentalis	Sycamore	10	80	60
4	Quercus phellos	Willow Oak	10	80	70
5	Tilia cordata	Littleleaf Linden	14	70	70
6	Morus alba	White Mulberry	14	40	40
7	Lagerstroemia indica	Crape Myrtle	24	80	80
8	Lagerstroemia indica	Crape Myrtle	12	80	80
9	Lagerstroemia indica	Crape Myrtle	10	80	80
10	Lagerstroemia indica	Crape Myrtle	10	80	80
11	Platanus occidentalis	Sycamore	9	80	60
12	Lagerstroemia indica	Crape Myrtle	10	70	80
13	Lagerstroemia indica	Crape Myrtle	14	80	80
14	Lagerstroemia indica	Crape Myrtle	10	80	80
15	Platanus occidentalis	Sycamore	15	80	60
16	Morus alba	White Mulberry	6	40	40
17	Platanus occidentalis	Sycamore	8	80	60
18	Morus alba	White Mulberry	14	50	40
19	Morus alba	White Mulberry	12	40	40
20	Lagerstroemia indica	Crape Myrtle	12	60	80
21	Tilia cordata	Littleleaf Linden	22	70	70
22	Quercus phellos	Willow Oak	9	80	70
23	Quercus phellos	Willow Oak	10	80	70
24	Acer saccharum	Sugar Maple	6	70	70
25	Quercus phellos	Willow Oak	8	80	70
26	Lagerstroemia indica	Crape Myrtle	4	70	80
27	Ulmus americana	American Elm	20	70	60
28	Acer saccharum	Sugar Maple	10	60	70
29	Acer saccharum	Sugar Maple	6	60	70
30	Acer saccharum	Sugar Maple	10	30	70
31	Juniperus virginiana	Eastern Redcedar	15	80	70
32	Juniperus virginiana	Eastern Redcedar	14	80	70
33	Juniperus virginiana	Eastern Redcedar	15	80	70
34	Juniperus virginiana	Eastern Redcedar	6	70	70
35	Juniperus virginiana	Eastern Redcedar	12	80	70
36	Juniperus virginiana	Eastern Redcedar	8	70	70
37	Juniperus virginiana	Eastern Redcedar	12	70	70
38	Juniperus virginiana	Eastern Redcedar	12	80	70
39	Alanthus altsima	Tree of Heaven	12	70	30
40	Juniperus virginiana	Eastern Redcedar	12	80	70
41	Juniperus virginiana	Eastern Redcedar	10	DEAD	70
42	Catalpa speciosa	Northern Catalpa	12	30	40
43	Juniperus virginiana	Eastern Redcedar	6	50	70
44	Juniperus virginiana	Eastern Redcedar	16	80	70
45	Quercus acutisima	Sawtooth Oak	10	80	80
46	Quercus acutisima	Sawtooth Oak	8	80	80
47	Quercus acutisima	Sawtooth Oak	7	80	80
48	Quercus acutisima	Sawtooth Oak	11	80	80
49	Quercus acutisima	Sawtooth Oak	9	80	80
50	Quercus acutisima	Sawtooth Oak	9	80	80
51	Quercus rubra	Red Oak	12	60	70
52	Pyrus calleryana	Bradford Pear	4	80	40
53	Acer saccharum	Silver Maple	8	70	40
54	Acer saccharum	Silver Maple	20	40	40
55	Alanthus altsima	Tree of Heaven	12	70	30
56	Alanthus altsima	Tree of Heaven	12	70	30
57	Alanthus altsima	Tree of Heaven	12	70	30
58	Morus alba	White Mulberry	12	20	40
59	Quercus phellos	Willow Oak	12	80	70
60	Quercus phellos	Willow Oak	12	80	70
61	Magnolia x soulangiana	Saucer Magnolia	6	80	70
62	Magnolia x soulangiana	Saucer Magnolia	10	80	70
63	Lagerstroemia indica	Crape Myrtle	10	80	80
64	Pyrus calleryana	Bradford Pear	8	80	40
65	Morus alba	White Mulberry	6	50	40

- Notes:
- Condition Rating based on formula provided by the [Guide for Plant Appraisal](#) published by the ISA.
 - Species Rating based on formula provided by the [Guide for Plant Appraisal](#) published by the ISA.
 - *Trees 6, 39, 42, 51 & 57 were not surveyed, locations are shown as observed in the field.

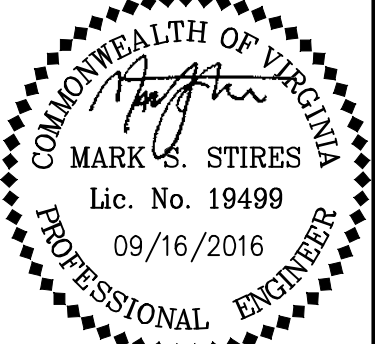


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DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	
DATE	
DATE RECORDED	
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____	

EXISTING CONDITIONS PLAN (2 OF 2)
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA



PLAN STATUS	
02/15/16	CONCEPT I
04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2

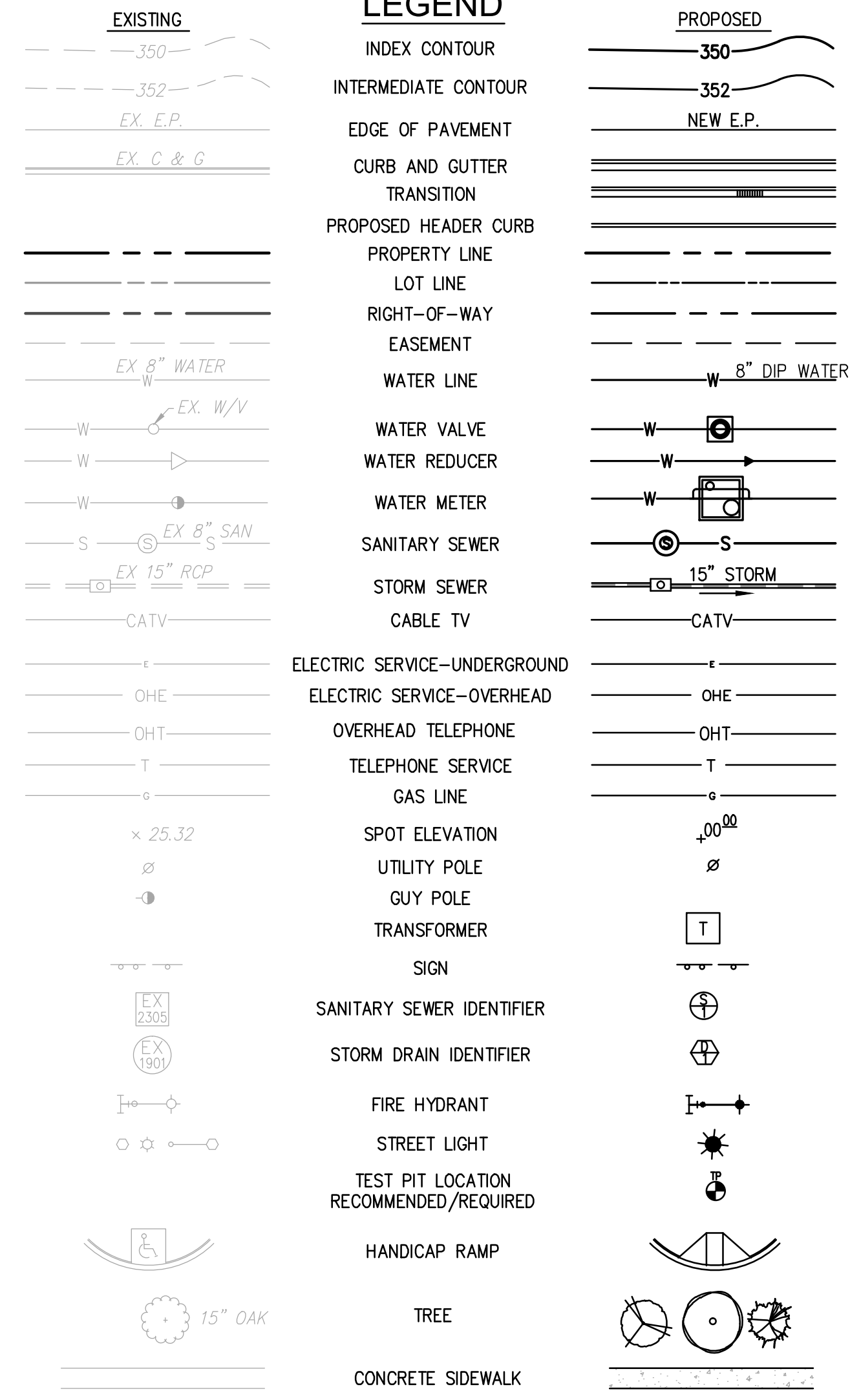
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SHEET C4.10

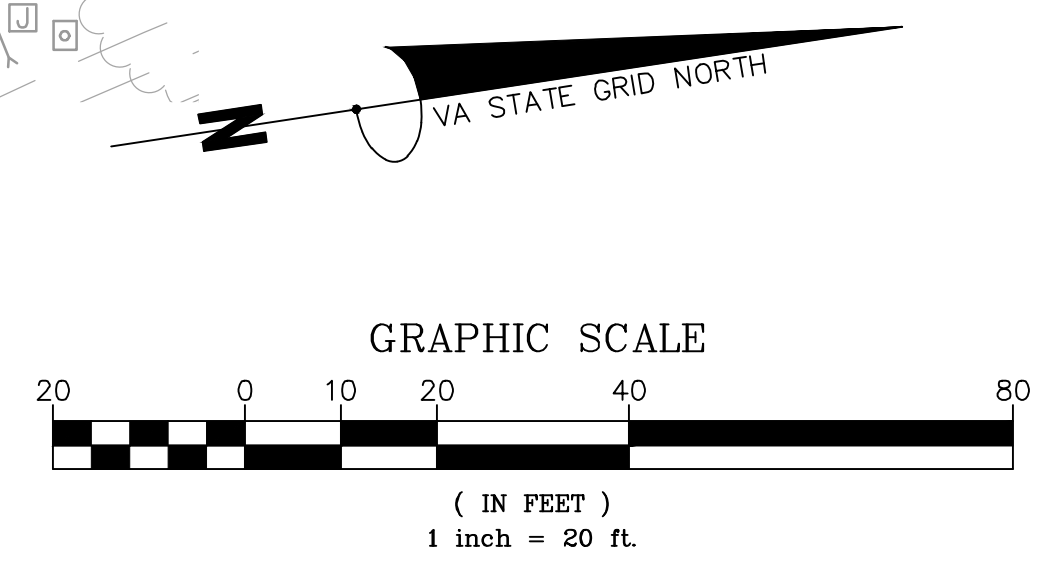
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Phone: (202) 750-2474
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VIRGINIA

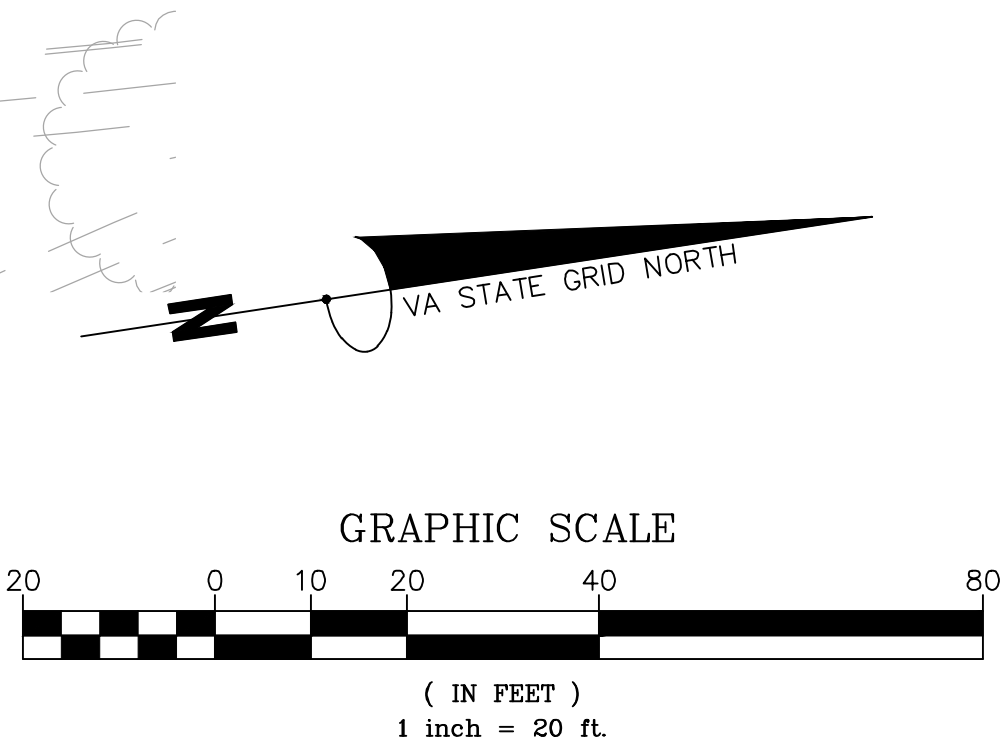
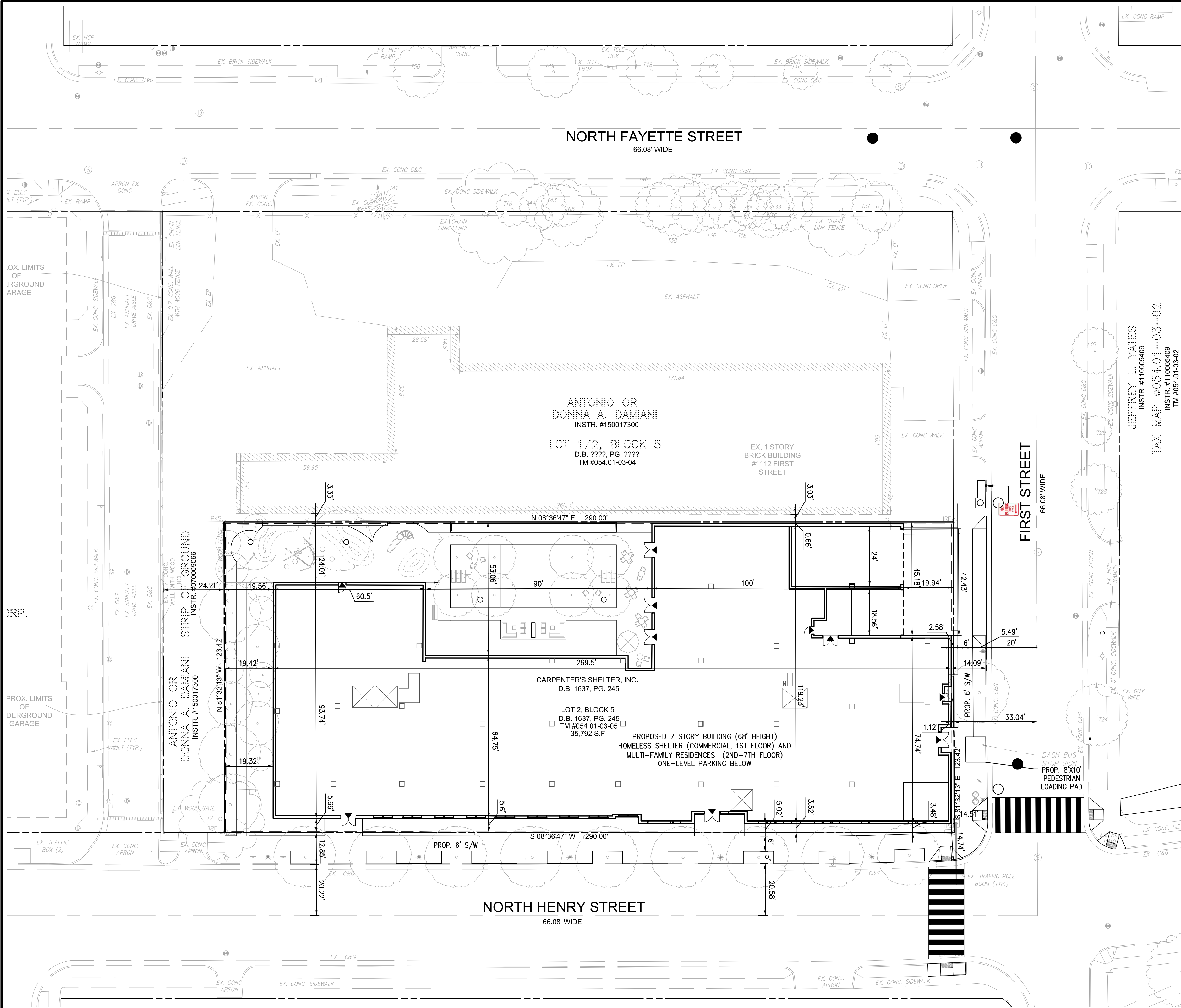


- 1 MULTI-FAMILY ENTRANCE
- 2 CARPENTER'S SHELTER ENTRANCE
- 3 COURTYARD ENTRANCE
- 4 LOADING ENTRANCE
- 5 DAVID'S PLACE ENTRANCE



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DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECEIVED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

			<p>SITE PLAN</p> <p>930 NORTH HENRY STREET</p> <p>DEVELOPMENT PRELIMINARY SITE PLAN</p> <p>CITY OF ALEXANDRIA</p> <p>VIRGINIA</p>		
<p>PLAN STATUS</p>			<p>DATE</p>		
02/15/16	CONCEPT I		04/15/16	CONCEPT II	
08/11/16	PDSUP 1ST SUB		09/16/16	COMPLETENESS SUB #2	
<p>CNN DESIGN</p>		<p>CNN DRAWN</p>	<p>MCS CHKD</p>		
<p>SCALE: 1"=20'</p>					
<p>JOB No. 6016-03-001</p>					
<p>DATE JULY, 2016</p>					
<p>FILE No. 6016-PDSUP-001</p>					
<p>SHEET</p>			<p>C5.00</p>		



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SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DATE	DESCRIPTION
CNN DESIGN	CNN DRAWN
MCS CHKD	
SCALE: 1"=20'	
JOB No. 6016-03-001	
DATE JULY, 2016	
FILE No. 6016-PDSUP-001	

SHEET C5.10

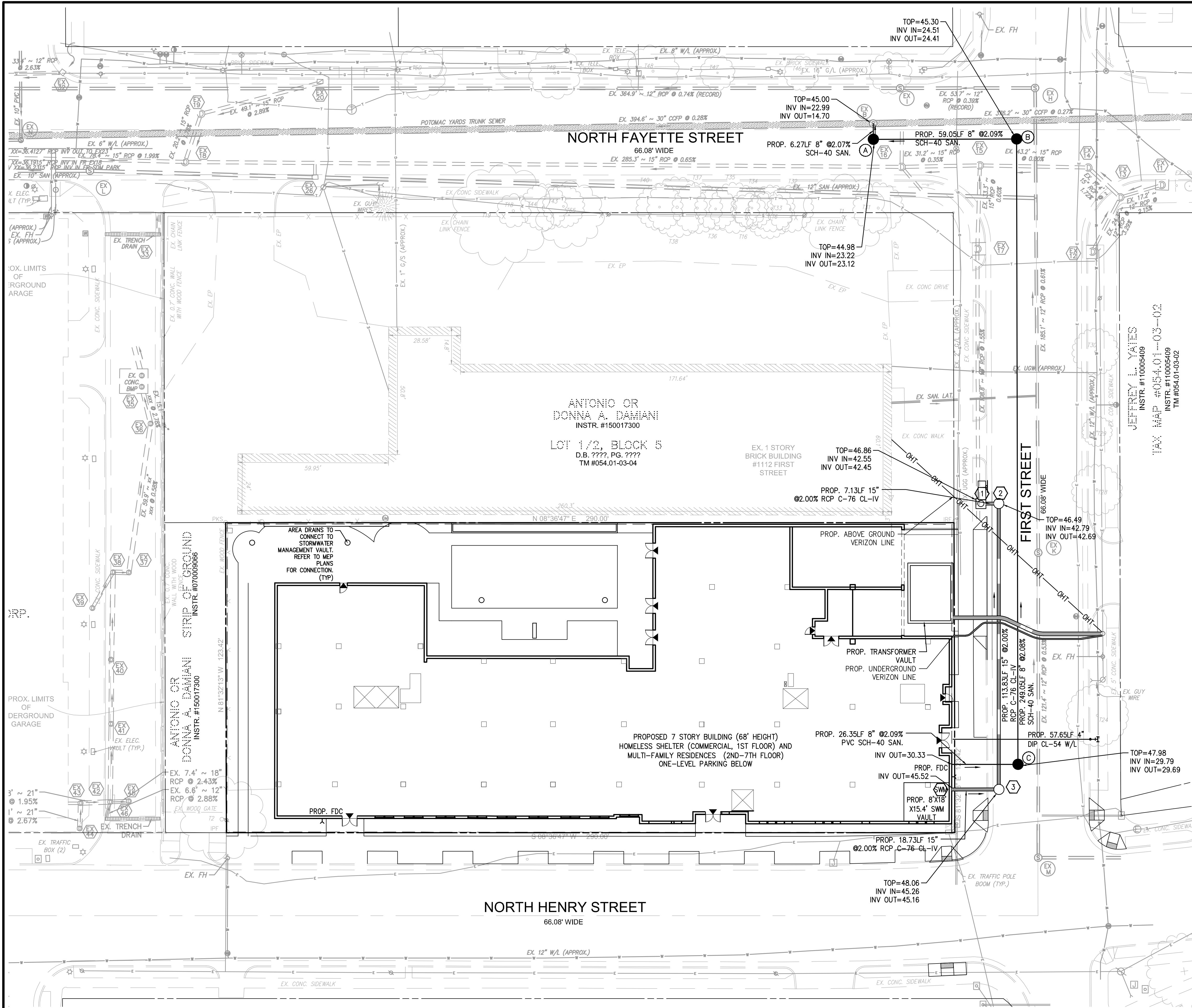
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DIMENSION PLAN
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA

COMMONWEALTH OF VIRGINIA
MARK S. STIRES
Lic. No. 19499
09/16/2016
PROFESSIONAL ENGINEER

PLAN STATUS	
02/15/16	CONCEPT I
04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2



EXISTING

350

352

EX E.P.

EX C & G

EX 8" WATER

EX W/V

EX 8" SAN

EX 15" RCP

CATV

OHE

OHT

T

25.32

EX 230V

EX 130V

15" OAK

LEGEND

INDEX CONTOUR

INTERMEDIATE CONTOUR

EDGE OF PAVEMENT

CURB AND GUTTER

TRANSITION

PROPOSED HEADER CURB

PROPERTY LINE

LOT LINE

RIGHT-OF-WAY

EASEMENT

WATER LINE

WATER VALVE

WATER REDUCER

WATER METER

SANITARY SEWER

STORM SEWER

CABLE TV

ELECTRIC SERVICE-UNDERGROUND

ELECTRIC SERVICE-OVERHEAD

OVERHEAD TELEPHONE

TELEPHONE SERVICE

GAS LINE

SPOT ELEVATION

UTILITY POLE

GUY POLE

TRANSFORMER

SIGN

SANITARY SEWER IDENTIFIER

STORM DRAIN IDENTIFIER

FIRE HYDRANT

STREET LIGHT

TEST PIT LOCATION

RECOMMENDED/REQUIRED

HANDICAP RAMP

TREE

CONCRETE SIDEWALK

PROPOSED

350

352

NEW E.P.

8" DIP WATER

15" STORM

CATV

OHE

OHT

T

25.32

EX 230V

EX 130V

15" OAK

JEFFREY L. YATES
INSTR. #10005409
TAX MAP #054.01-03-02
INSTR. #10005409
TM #054.01-03-02

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UTILITY PLAN

930 NORTH HENRY STREET

DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA

VIRGINIA

COMMONWEALTH OF VIRGINIA

MARK S. STIRES

Lic. No. 19499

09/16/2016

PROFESSIONAL ENGINEER

PLAN STATUS

02/15/16 CONCEPT I

04/15/16 CONCEPT II

08/11/16 PDSUP 1ST SUB

09/16/16 COMPLETENESS SUB #2

DATE

DESCRIPTION

CNN DESIGN

CNN DRAWN

MCS CHKD

SCALE: 1"=20'

JOB No. 6016-03-001

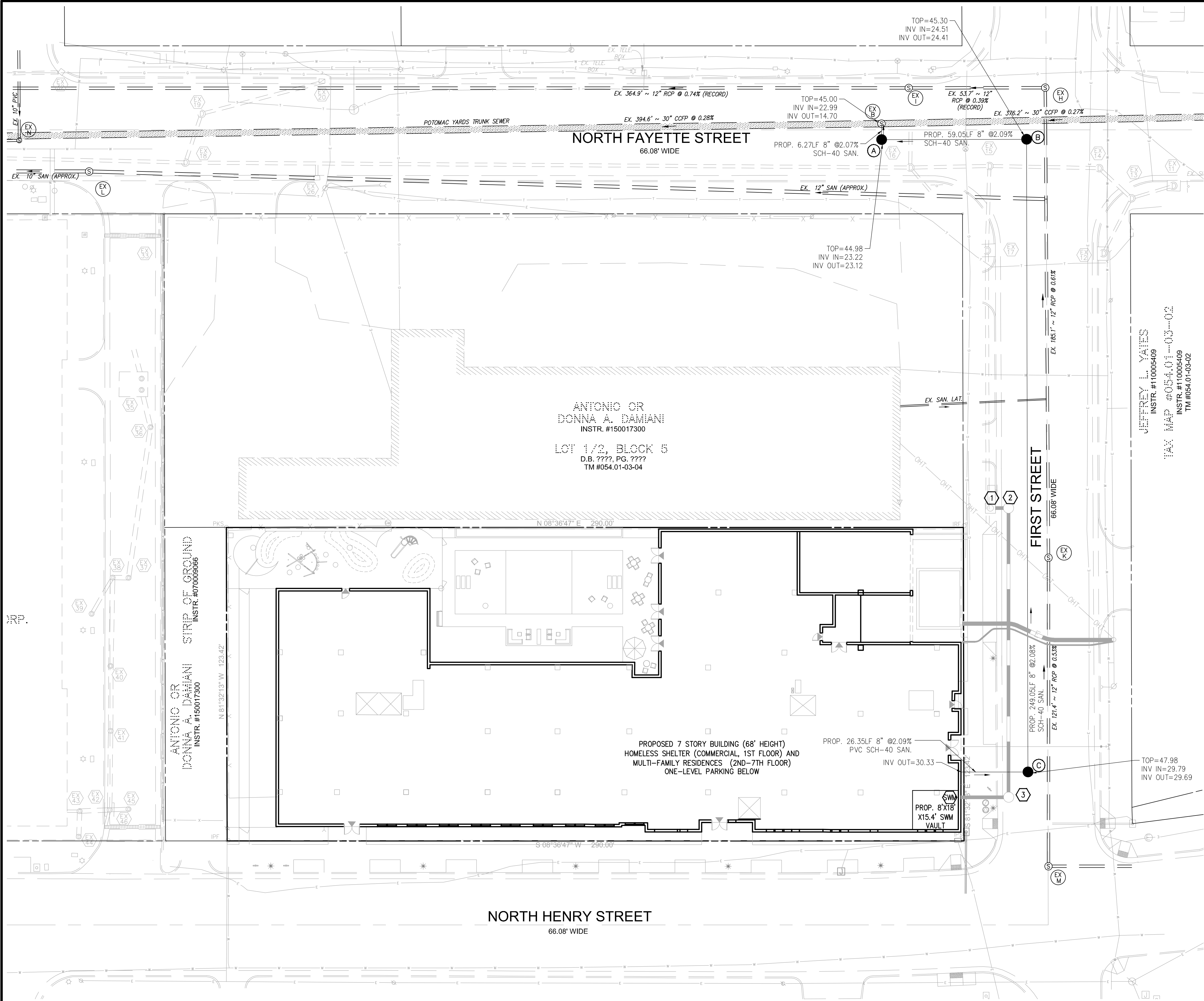
DATE JULY, 2016

FILE No. 6016-PDSUP-001

SHEET

C6.00

Cad file name: V:\6016 - 1112 First Street\6016-03-001 (ENG) - Carpenters Shelter PDSUP-FDSUP (Mixed)\Engineering\Engineering Plans\PDSUP\6016-03-001-PinSht.dwg 9/15/2016



AVERAGE DAILY FLOWS AND PEAKING FACTOR*:

MULTI-FAMILY/HOTEL ADF = 300 GPD/UNIT
PEAKING FACTOR = 4.0

*BASED ON CITY OF ALEXANDRIA MEMO TO THE INDUSTRY NO. 06-14

EXISTING SITE FLOW:

18 UNITS (OUTFALLS TO FIRST STREET)
18 UNITS * 300GPD / UNIT = 5,400 GPD 0.0084 CFS
PEAK FLOW = 5,400 GPD * 4 = 21,600 GPD 0.8020 CFS

PROPOSED SITE FLOW:

114 UNITS (OUTFALLS TO NORTH FAYETTE STREET)
114 UNITS * 300GPD / UNIT = 34,200 GPD 0.05 CFS
PEAK FLOW = 35,400 GPD * 4 = 136,800 GPD 0.21 CFS

SANITARY SEWER OUTFALL NARRATIVE:

ALL SANITARY SEWAGE FROM THIS SITE WILL FLOW THROUGH ONE 8" SANITARY SEWER LATERAL INTO THE PROPOSED 8" SEWER MAIN LOCATED IN FIRST STREET. THE PROPOSED MAIN WILL RUN ALONG FIRST STREET AND CONNECT TO THE EXISTING 30" TRUNK SEWER IN NORTH FAYETTE STREET.

NOTE: THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.

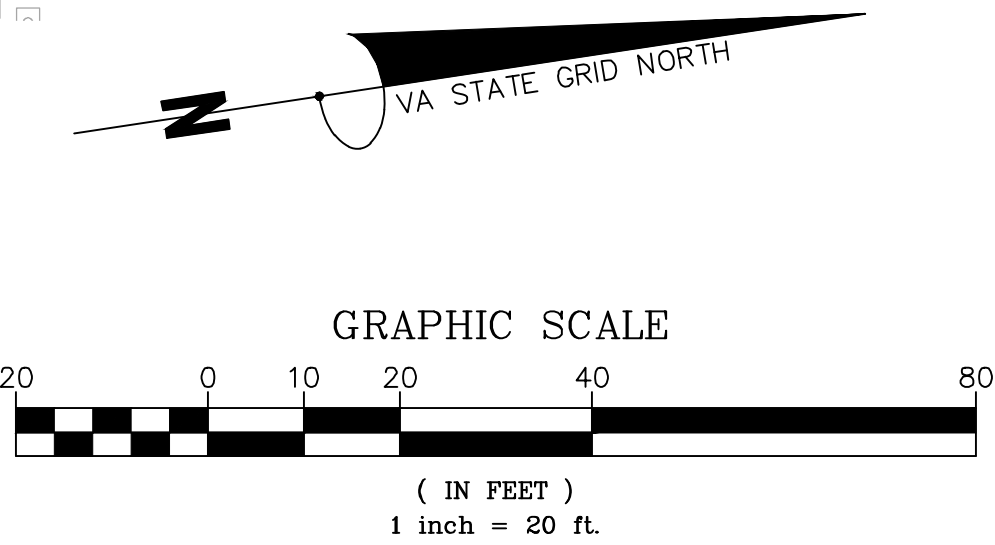
MANHOLE REFERENCE TABLE

BOWMAN MH NAME	ALEXANDRIA FACILITY ID*
EX A	007416SSMH
EX B	007636SSMH
EX C	007635SSMH
EX D	005623SSMH
EX E	007010SSMH
EX F	007415SSMH
EX G	007431SSMH
EX H	005321SSMH

*FROM ALEXANDRIA GIS 2011

SANITARY SEWER COMPUTATIONS

Manhole Number		Flow Million Gallons Per Day				Pipe Run Manning's "N" Value .010					Capacity of Pipe (Full)			Proportional Pipe Flow	Remarks
						Length (ft)	Dia. (in)	Slope (%)	Upper (Out) Invert	Lower (In) Invert	MGD	CFS	Velocity (fps)		
BLDG Connection	C	0.0354	0.0354	4.00	0.142	25.85	8	2.09%	30.33	29.79	1.462663	2.26	6.48	0.10	
C	B	0.0000	0.0354	4.00	0.142	249.06	8	2.08%	29.69	24.51	1.459455	2.26	6.47	0.10	
B	A	0.0000	0.0354	4.00	0.142	57.05	8	2.09%	24.41	23.22	1.461583	2.26	6.48	0.10	
A	EX B	0.0000	0.0354	4.00	0.142	6.27	8	2.07%	23.12	22.99	1.457188	2.25	6.46	0.10	



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SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

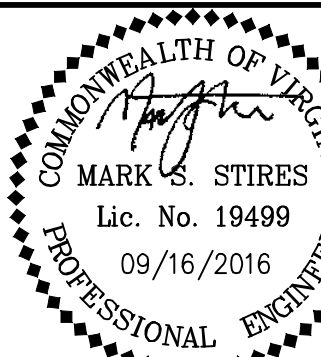
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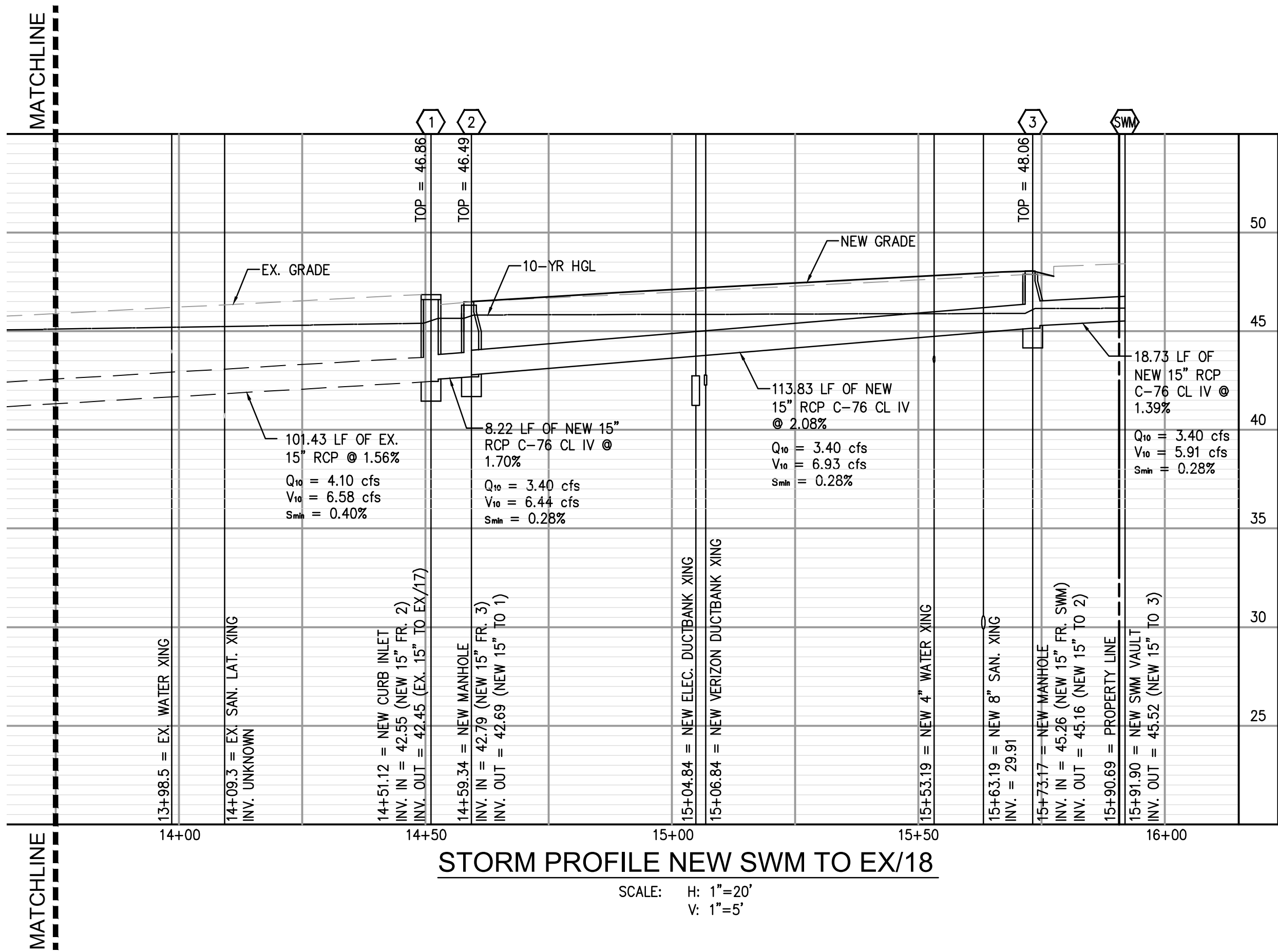
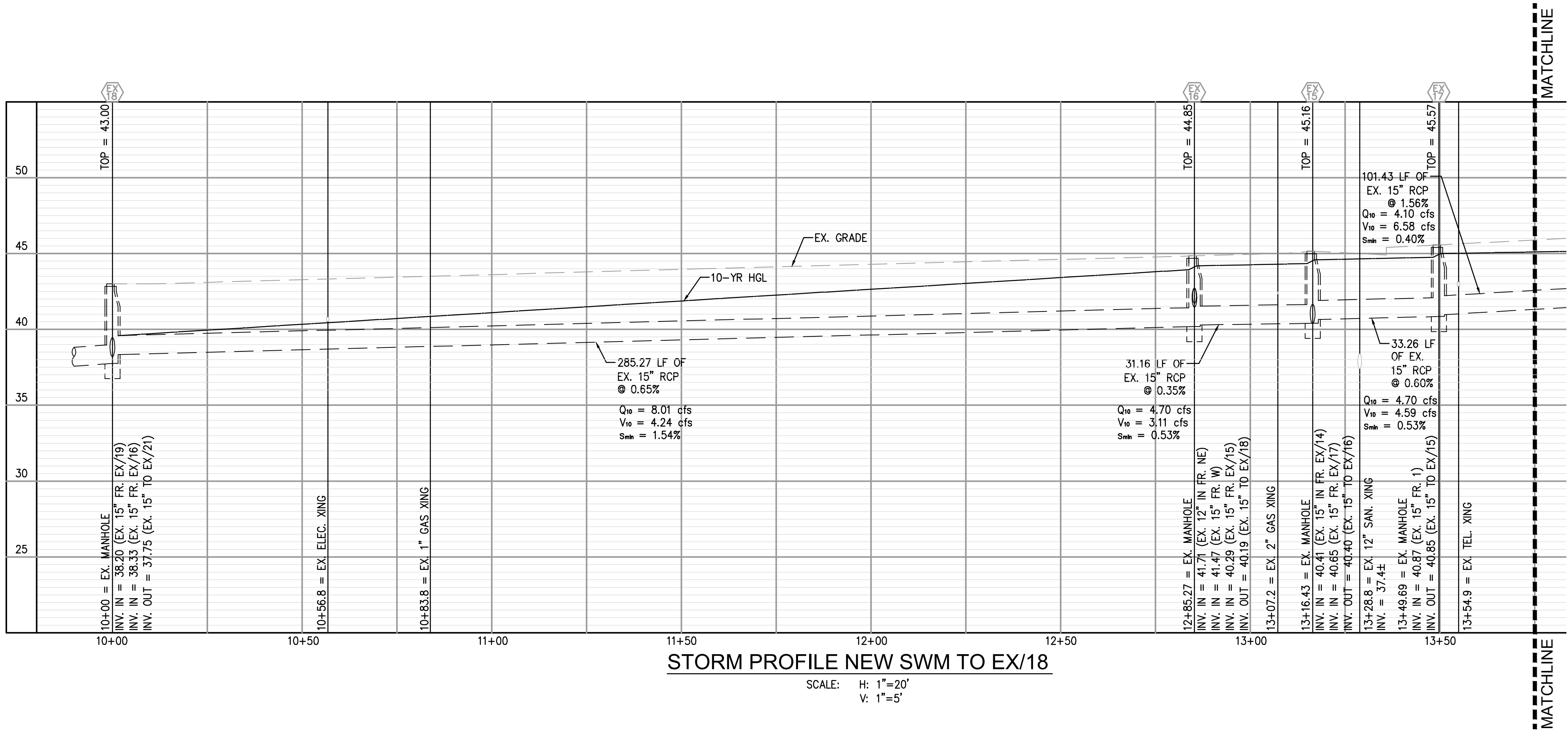
SANITARY SEWER ANALYSIS
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA VIRGINIA



PLAN STATUS	
02/15/16	CONCEPT I
04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2

DATE	DESCRIPTION
CNN DESIGN	CNN DRAWN
MCS	CHKD
SCALE: 1"=20'	
JOB No. 6016-03-001	
DATE JULY, 2016	
FILE No. 6016-PDSUP-001	

SHEET C6.10



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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

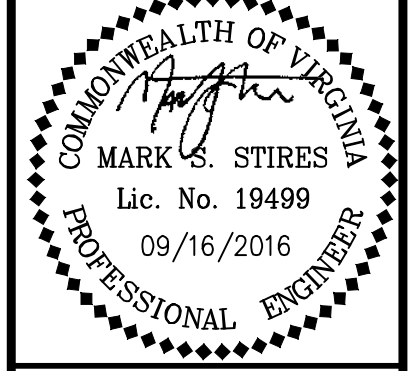
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INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DATE	DESCRIPTION
CNN	CNN
DESIGN	DRAWN
MCS	CHKD
SCALE:	AS SHOWN
JOB No.	6016-03-001
DATE	JULY, 2016
FILE No.	6016-PDSUP-001

SHEET C6.20

STORM DRAIN ANALYSIS
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA

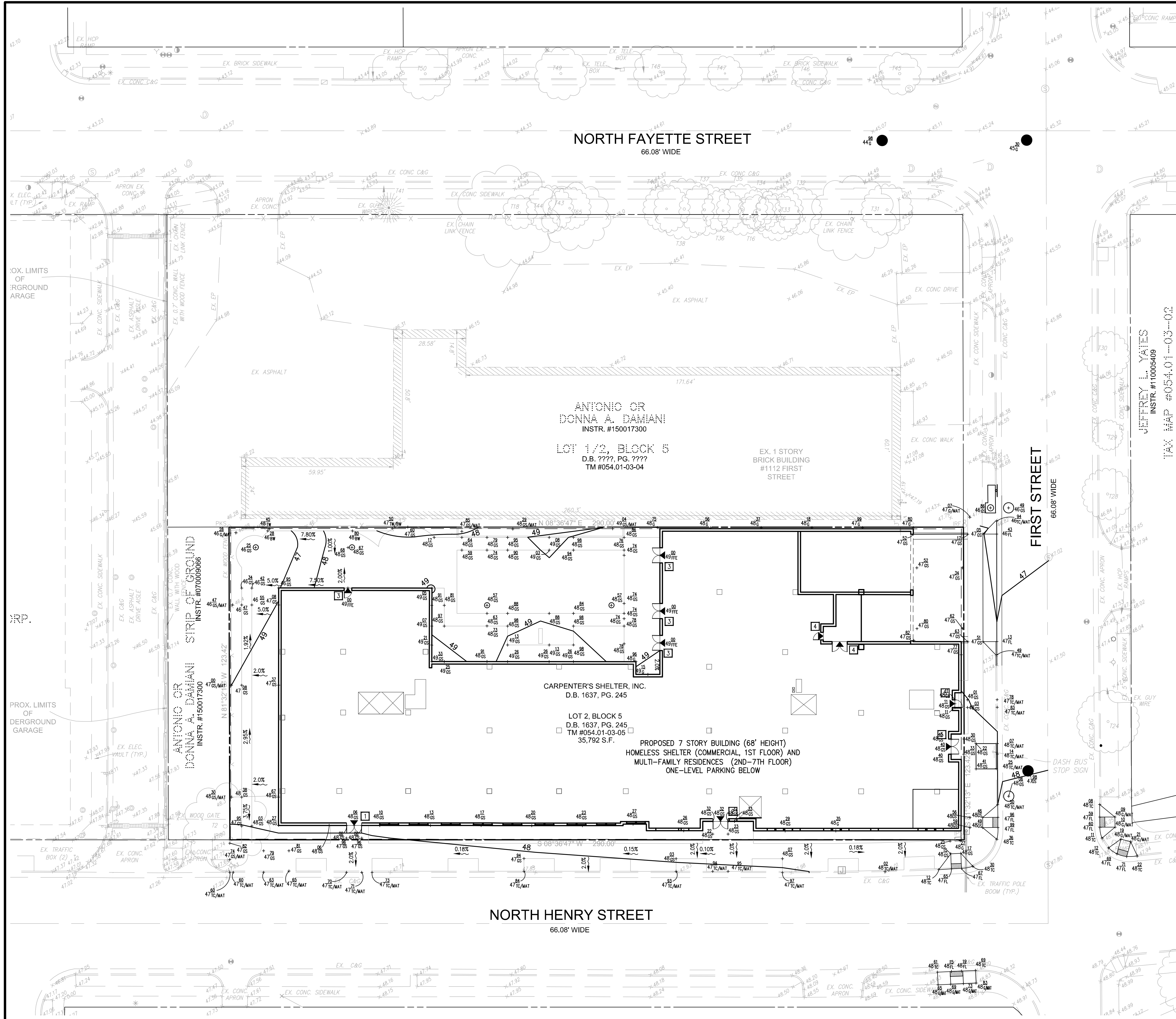


PLAN STATUS
02/15/16 CONCEPT I
04/15/16 CONCEPT II
08/11/16 PDSUP 1ST SUB
09/16/16 COMPLETENESS SUB #2

VIRGINIA

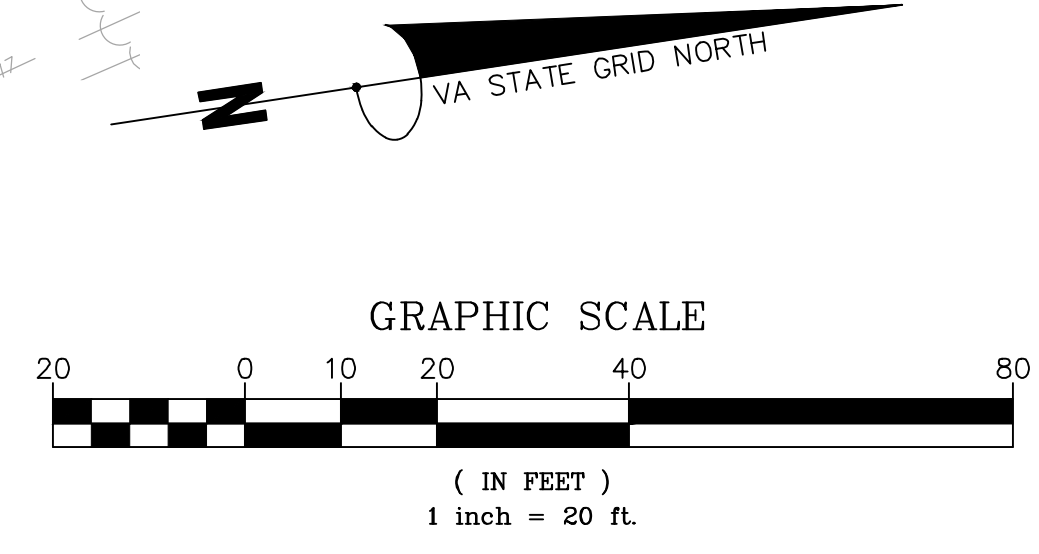
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EXISTING	LEGEND	PROPOSED
350	INDEX CONTOUR	350
352	INTERMEDIATE CONTOUR	352
EX. E.P.	EDGE OF PAVEMENT	NEW E.P.
EX. C & G	CURB AND GUTTER TRANSITION	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	EASEMENT	
	WATER LINE	8" DIP WATER
	WATER VALVE	
	WATER REDUCER	
	WATER METER	
	SANITARY SEWER	
	STORM SEWER	15" STORM
	CABLE TV	CATV
	ELECTRIC SERVICE-UNDERGROUND	
	ELECTRIC SERVICE-OVERHEAD	OHE
	OVERHEAD TELEPHONE	OHT
	TELEPHONE SERVICE	T
	GAS LINE	
	SPOT ELEVATION	+00.00
	UTILITY POLE	
	GUY POLE	
	TRANSFORMER	T
	SIGN	
	SANITARY SEWER IDENTIFIER	
	STORM DRAIN IDENTIFIER	
	FIRE HYDRANT	
	STREET LIGHT	
	TEST PIT LOCATION	
	RECOMMENDED/REQUIRED	
	HANDICAP RAMP	
	TREE	
	CONCRETE SIDEWALK	

ENTRANCES	SPOT SHOT LEGEND
1 MULTI-FAMILY ENTRANCE	xx+ FINISHED FLOOR SPOT
2 CARPENTER'S SHELTER ENTRANCE	xx+ GROUND SPOT
3 COURTYARD ENTRANCE	xx+ TOP OF CURB SPOT
4 LOADING ENTRANCE	xx+ BOTTOM OF CURB SPOT
5 DAVID'S PLACE ENTRANCE	xx+ TOP OF WALL SPOT
	xx+ BOTTOM OF WALL SPOT
	xx+ TOP OF STEPS SPOT
	xx+ BOTTOM OF STEPS SPOT
	xx+ MATCH EXISTING SPOT



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GRADING PLAN
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN

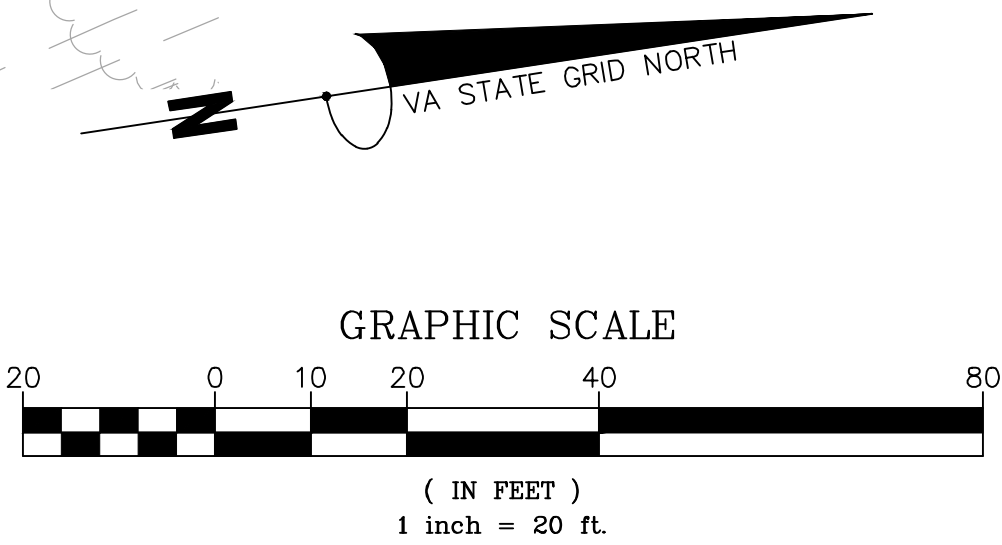
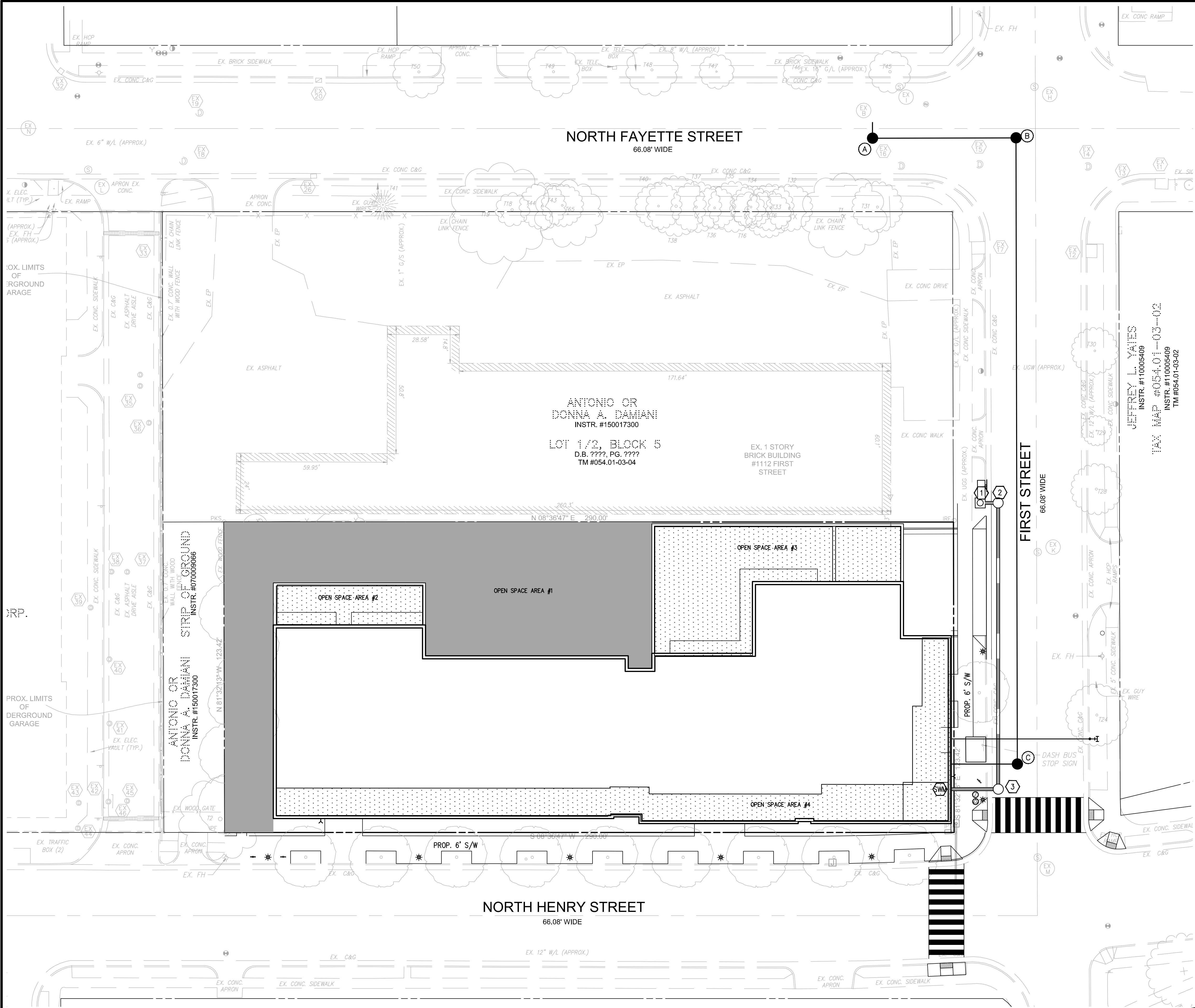
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MARK S. STIRES
Lic. No. 19499
09/16/2016
PROFESSIONAL ENGINEER

PLAN STATUS	
02/15/16	CONCEPT I
04/15/16	CONCEPT II
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09/16/16	COMPLETENESS SUB #2

DATE	DESCRIPTION
CNN DESIGN	CNN DRAWN
MCS	CHKD
SCALE: 1"=20'	
JOB No. 6016-03-001	
DATE JULY, 2016	
FILE No. 6016-PDSUP-001	

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C7.00



LEGEND	
	OPEN SPACE - GROUND FLOOR AREA = 8,793 SF (0.20 AC.) PERCENTAGE OF TOTAL OPEN SPACE = 61%
	OPEN SPACE - ROOF AREA = 5,663 SF (0.13 AC.) PERCENTAGE OF TOTAL OPEN SPACE = 39%
OPEN SPACE COMPUTATIONS	
SITE AREA = 35,791 SF (0.82 AC.)	
OPEN SPACE AREA = 14,456 SF (0.33 AC.)	
PERCENTAGE OPEN SPACE PROVIDED = 40%	

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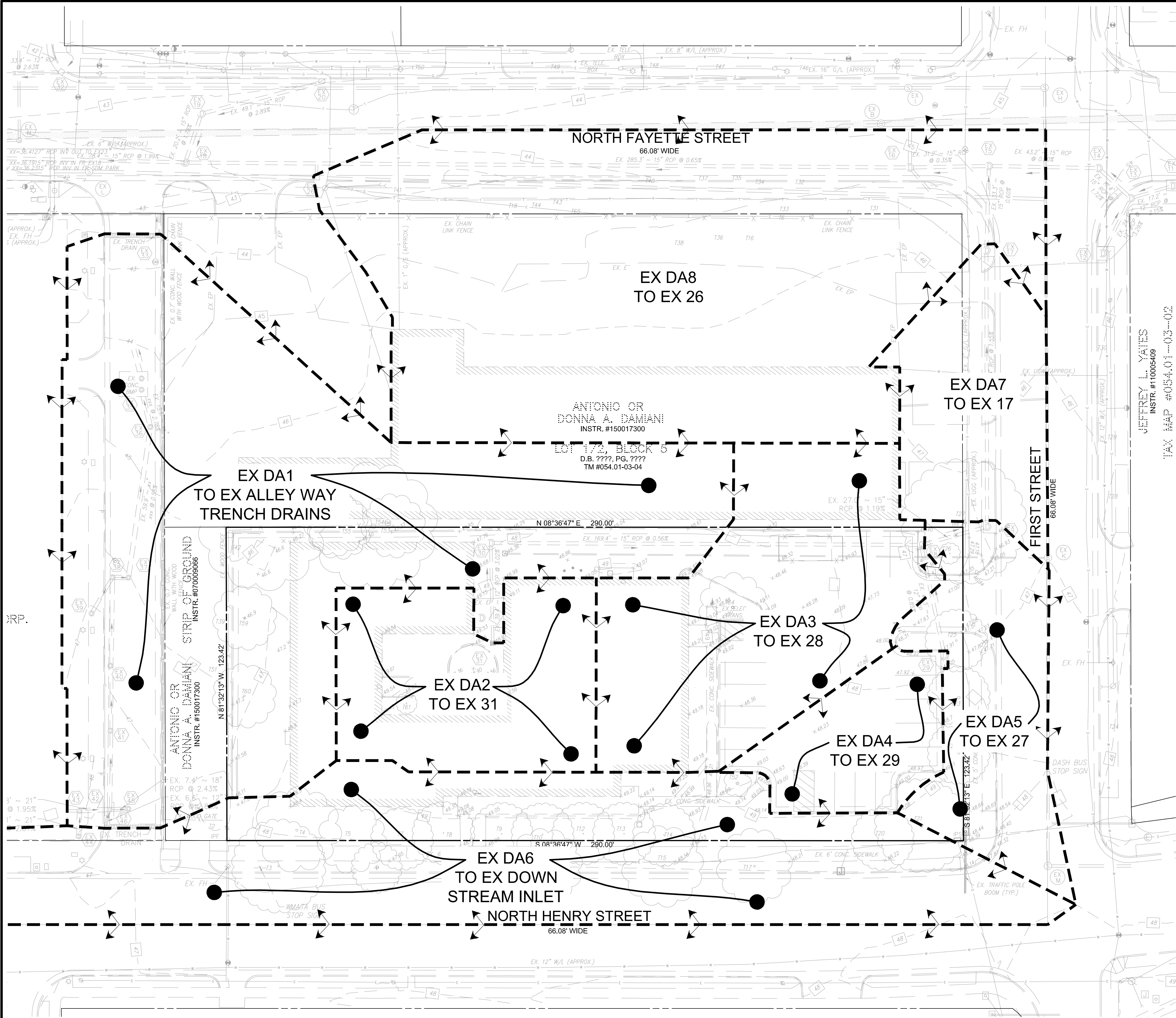
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OPEN SPACE PLAN
930 NORTH HENRY STREET
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CITY OF ALEXANDRIA

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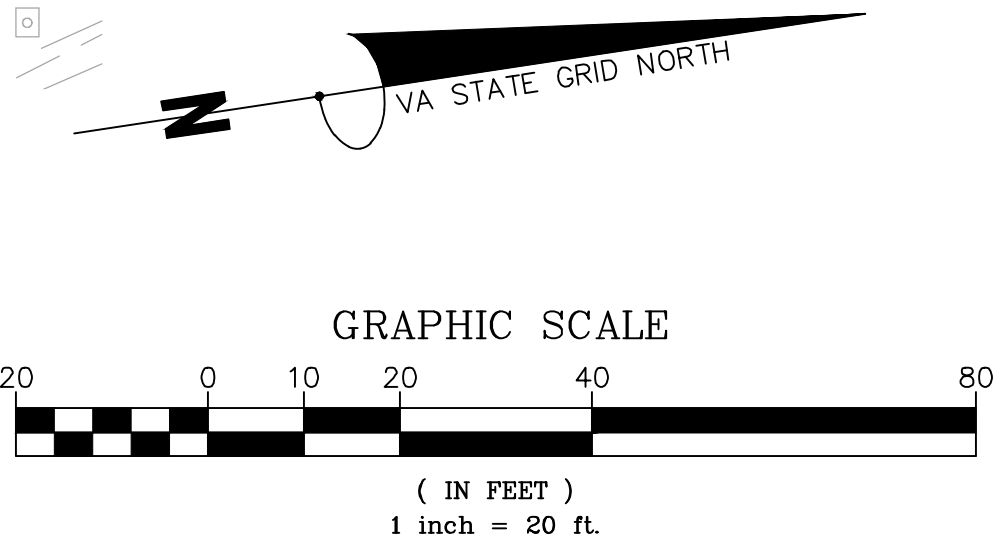


LEGEND

↔ DRAINAGE AREA

EXISTING DRAINAGE DIVIDE COMPUTATIONS							
DA #	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)	TOTAL AREA (AC)	Cw	Q(1) CFS	Q(2) CFS	Q(10) CFS
1	0.1931	0.5155	0.7086	0.76	1.45	1.72	2.80
2	0.0044	0.1611	0.1654	0.93	0.42	0.49	0.80
3	0.0206	0.2413	0.2619	0.89	0.63	0.75	1.22
4	0.0025	0.0795	0.0820	0.93	0.21	0.24	0.40
5	0.0421	0.1038	0.1459	0.74	0.28	0.34	0.55
6	0.1276	0.4264	0.5540	0.79	1.18	1.40	2.27
7	0.0000	0.1315	0.1315	0.95	0.34	0.40	0.65
8	0.0000	0.6693	0.6693	0.95	1.72	2.03	3.30

JEFFREY L. YATES
INSTR. #10005408
TAX MAP #054.01-03-02



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EXISTING DRAINAGE DIVIDES
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COMMONWEALTH OF VIRGINIA
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Lic. No. 19499
09/16/2016
PROFESSIONAL ENGINEER

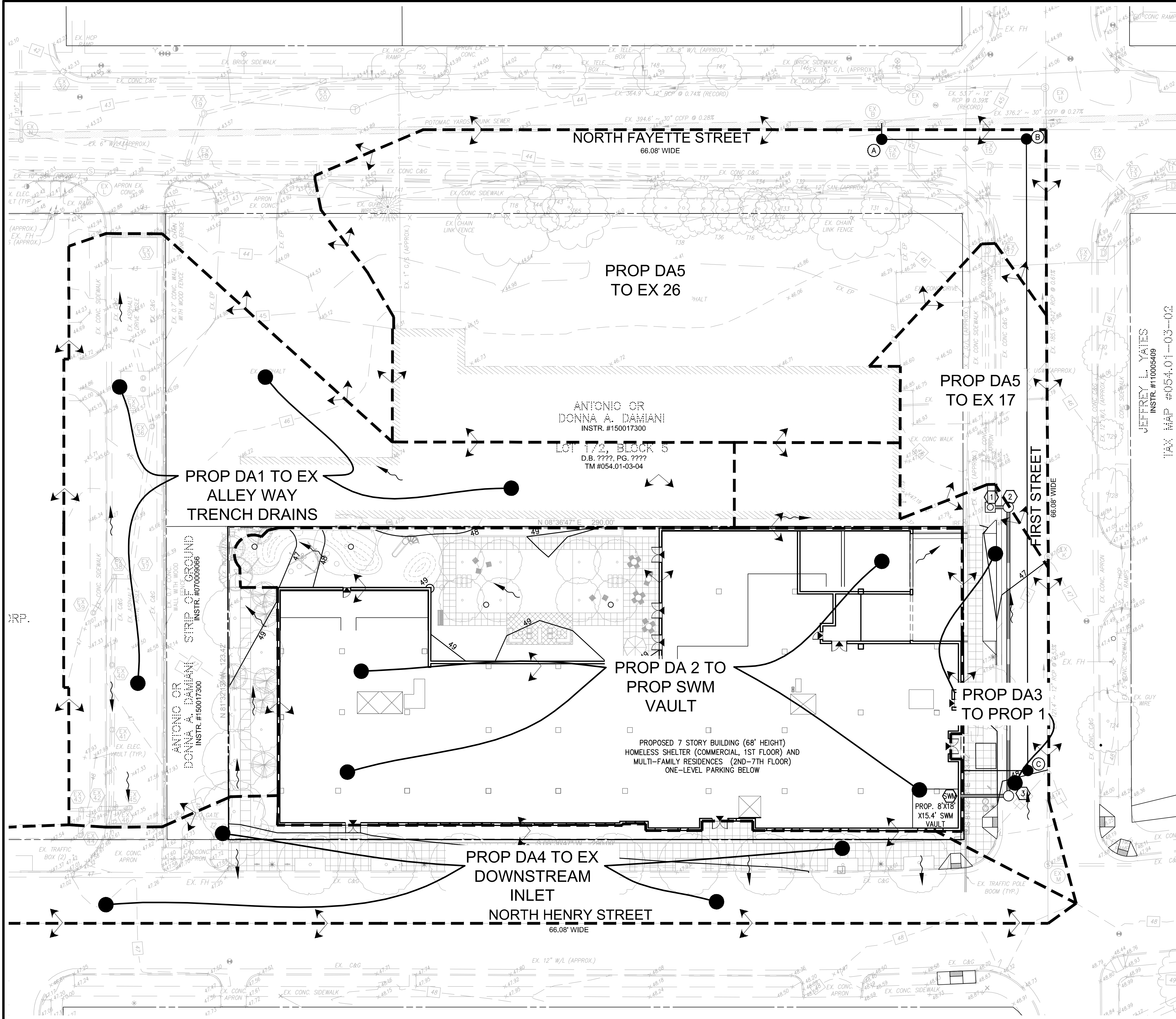
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SCALE: 1"=20'	
JOB No. 6016-03-001	
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FILE No. 6016-PDSUP-001	

SHEET

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Cad file name: V:\6016 - 1112 First Street\6016-03-001 (ENG) - Carpenters Shelter PDSUP-FDSUP (Mixed)\Engineering\Engineering Plans\PDSUP\6016-03-001-SWM.dwg 9/15/2016



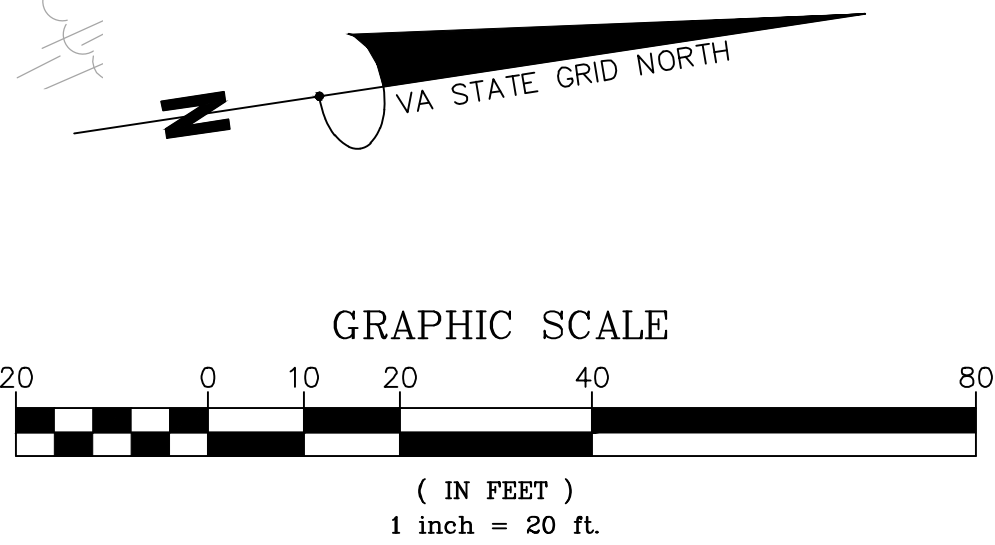
LEGEND

DRAINAGE AREA

100-YR. STORM OVERLAND RELIEF

PROPOSED DRAINAGE DIVIDE COMPUTATIONS							
DA #	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)	TOTAL AREA (AC)	Cw	Q(1) CFS	Q(2) CFS	Q(10) CFS
1	0.1468	0.5557	0.7025	0.80	1.52	1.81	2.94
2	0.0698	0.6727	0.7425	0.88	1.77	2.10	3.41
3	0.0127	0.1387	0.1514	0.89	0.36	0.43	0.70
4	0.0579	0.3836	0.4415	0.86	1.02	1.21	1.97
5	0.0000	0.1216	0.1216	0.95	0.31	0.37	0.60
6	0.0000	0.6693	0.6693	0.95	1.72	2.03	3.30

JEFFREY L. YATES
INSTR. #10005409
TAX MAP #054.01-03-02



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PROPOSED DRAINAGE DIVIDES
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN

VIRGINIA
CITY OF ALEXANDRIA

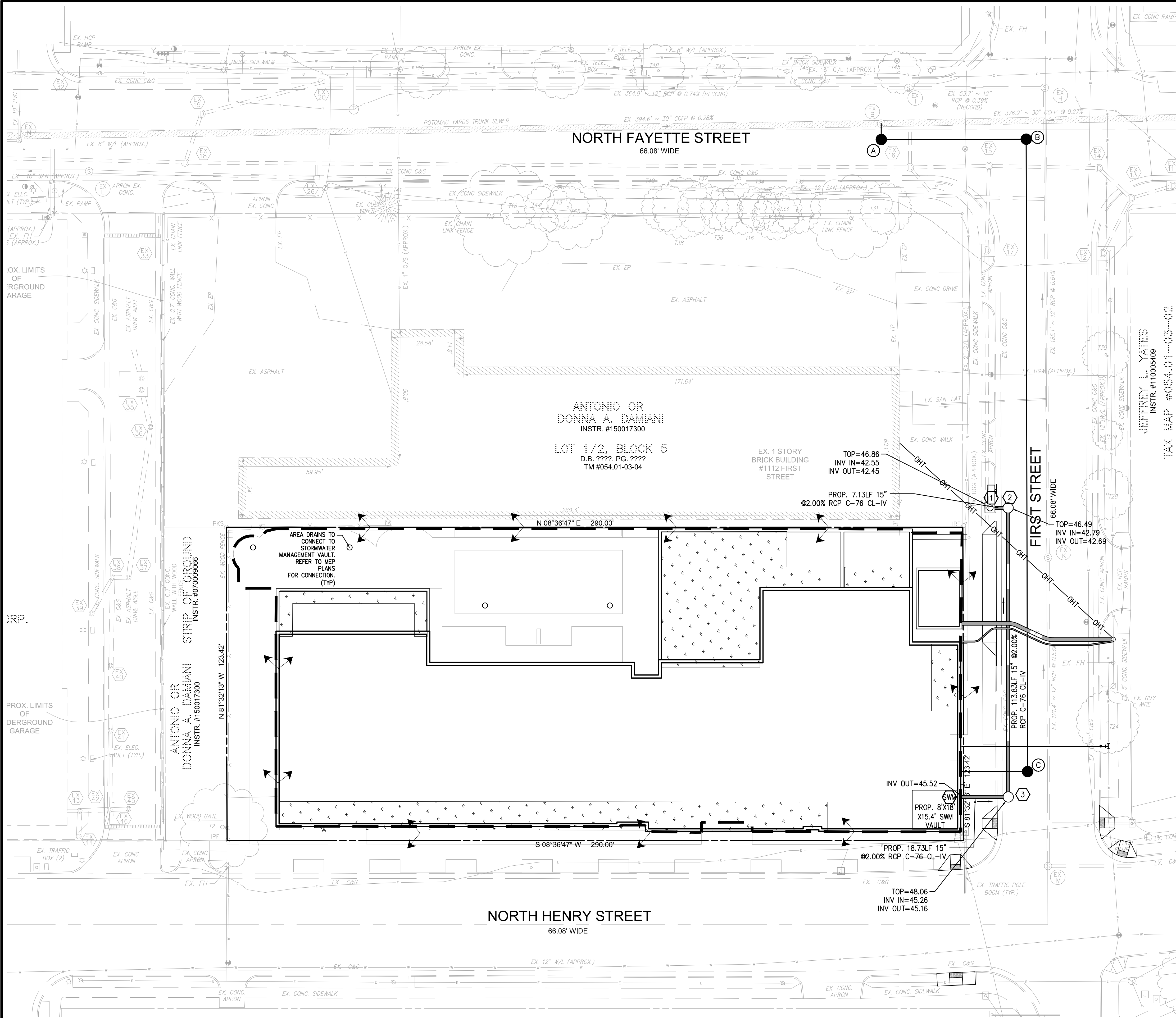
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Lic. No. 19499
09/16/2016
PROFESSIONAL ENGINEER

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SCALE: 1"=20'	
JOB No. 6016-03-001	
DATE JULY, 2016	
FILE No. 6016-PDSUP-001	

SHEET

C9.10



SWM NARRATIVE:

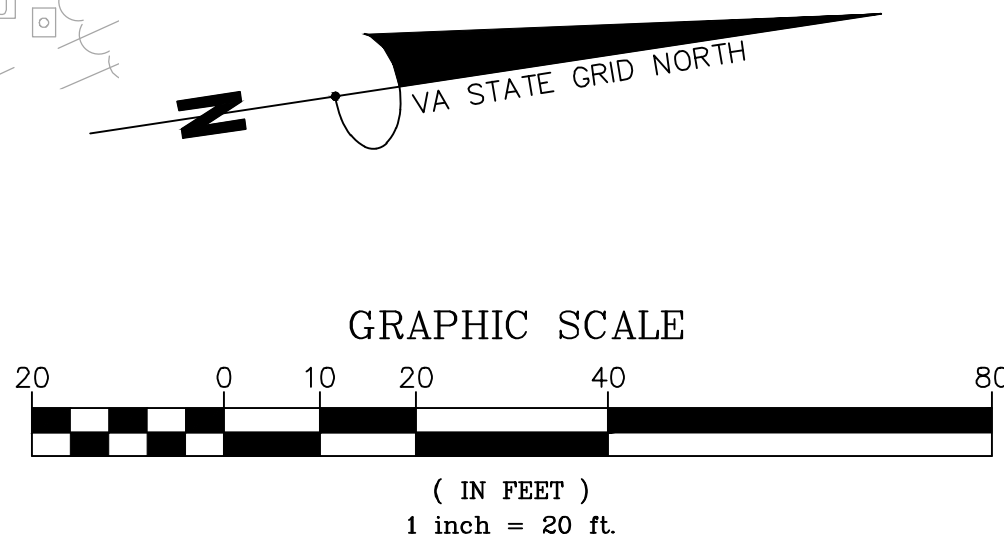
THE SITE PROPOSES TO COMPLY WITH ALL STORMWATER MANAGEMENT REQUIREMENTS BY ROUTING STREET RUNOFF TO PROPOSED DRAINAGE INLETS AND COLLECTING AT AN ONSITE TREATMENT FACILITY. THE FACILITY SHALL PROVIDE STORAGE QUALITY AND QUANTITY THROUGH FILTRATION SYSTEM TO BE DETERMINED DURING FINAL ENGINEERING PHASE. SEE THIS PLAN FOR DETAILS.

LEGEND

GREEN ROOF
(5,769 SF)

DRAINAGE AREA

JEFFREY L. YATES
INSTR. #1005409
TAX MAP #054.01-03-02



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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

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DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

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Suite 510

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BMP OUTFALL PLAN

930 NORTH HENRY STREET

DEVELOPMENT PRELIMINARY SITE PLAN

CITY OF ALEXANDRIA

VIRGINIA

COMMONWEALTH OF VIRGINIA

MARK S. STIRES

Lic. No. 19499

09/16/2016

PROFESSIONAL ENGINEER

PLAN STATUS

02/15/16 CONCEPT I

04/15/16 CONCEPT II

08/11/16 PDSUP 1ST SUB

09/16/16 COMPLETENESS SUB #2

DATE

DESCRIPTION

CNN CNN MCS

DESIGN DRAWN CHKD

SCALE: 1"=20'

JOB No. 6016-03-001

DATE JULY, 2016

FILE No. 6016-PDSUP-001

SHEET

C9.20

Project Description

Development or **Redevelopment**

Drainage Area	Impervious	Pervious	Total
Site Area	0.63 AC	0.22 AC	0.85 AC
On-Site Treated	0.67 AC	0.07 AC	0.74 AC
Off-Site Treated	0.00 AC	0.00 AC	0.00 AC
Total Treated	0.67 AC	0.07 AC	0.74 AC
Any On-Site Disconnected by a Vegetated Buffer (25 ft)	N/A		
Total On-Site Treated or Disconnected			0.74 AC

Water Treatment on site

BMP Type	Area treated by BMP (acres)	Impervious area treated by BMP (acres)	BMP efficiency (%)
Veg. Roof #1	0.57 AC	0.57 AC	45% Runoff Red.
Contech Storm Filter	0.74 AC	0.67AC	50% PHOS Red.

Miscellaneous

Total WQv treated: **yes** no
Detention on site: **yes** no

Project is within which watershed? **Combined Sewer Area**

Project discharges to which body of water? **Potomac River**

ALEXANDRIA WATER QUALITY VOLUME DEFAULT:

WQv REQUIRED= C(IMPERVIOUS) X IMPERVIOUS AREA (SF) X 0.50 INCH
WQv REQUIRED= 0.95 X 30,049 SF X 0.50 INCH = 1,189 CF

WQv PROVIDED= Cw X TOTAL CAPTURED AREA (SF) X 0.50 INCH
WQv PROVIDED= 0.884 X 32,343 SF X 0.50 INCH = 1,191 CF

STORMWATER MANAGEMENT CALCULATIONS:

STORMWATER RETENTION VOLUME (SWRv) REQUIREMENTS FOR THIS SITE WILL BE MET USING A COMBINATION OF GREEN ROOF AND STORM FILTER VAULT.

REQUIRED SWRv = 2,405 CF

GREEN ROOF RETENTION = 885 CF

REMAINING SWRv REQUIREMENT:
2,405 CF - 885 CF = 1,520 CF

STORM FILTER VAULT = 8.00' x 18' x 12.5'
Sv = 1,800 CF
1,520 CF - 1,800 CF = -280 CF

TOTAL SWRv PROVIDED: 2,405 CF
SWRv REQUIREMENT EXCEEDED BY 280 CF

DEQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

BMP Design Specifications List: 2013 Draft Stds & Specs

Site Summary

Total Rainfall (in):	43
Total Disturbed Acreage:	0.85

Site Land Cover Summary

Pre-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.22	0.22	26
Impervious Cover (acres)	0.00	0.00	0.00	0.63	0.63	74
					0.85	100

Post-ReDevelopment Land Cover (acres)	A soils	B Soils	C Soils	D Soils	Totals	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.16	0.16	19
Impervious Cover (acres)	0.00	0.00	0.00	0.69	0.69	81
					0.85	100

Site Tv and Land Cover Nutrient Loads

	Final Post-Development (Post-ReDevelopment & New Impervious)	Post-ReDevelopment	Post-Development (New Impervious)	Adjusted Pre-ReDevelopment
Site Rv	0.82	0.81	0.95	0.81
Treatment Volume (ft ³)	2,525	2,318	207	2,318
TP Load (lb/yr)	1.59	1.46	0.13	1.46

Total TP Load Reduction Required (lb/yr)	0.25	0.15	0.11
--	------	------	------

	Final Post-Development Load (Post-ReDevelopment & New Impervious)	Pre-ReDevelopment
TN Load (lb/yr)	11.35	10.66

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	0.85			
	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.69	2.69	4.84	4.84
CN	95	92	95	94
S=1000/CN-10	0.53	0.87	0.53	0.64
0.25	0.11	0.17	0.11	0.13
RV=(P-0.25) ² /(P-0.25)+S	2.15	1.87	4.26	4.15

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped)

I.F	0.9
CHANNEL PROTECTION	
Qpre-development	3
QPost Development	3
RVPost Development (with runoff reduction)	1.87
Qallowable	3.10

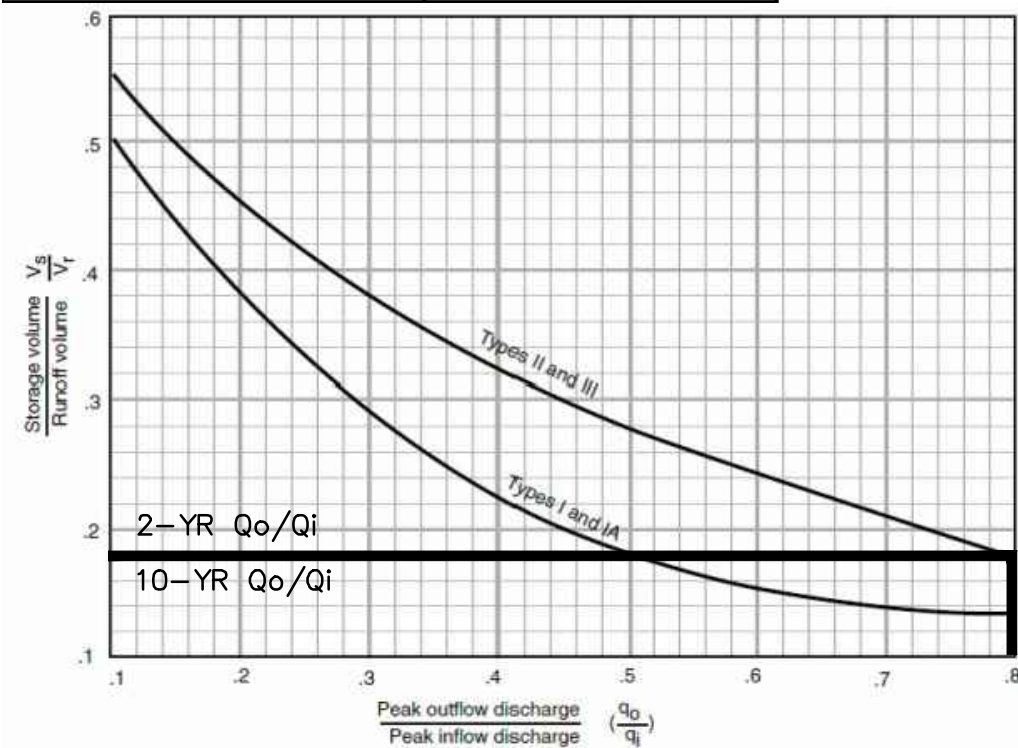
From TR55

From TR55

From RRM

Qallowable/QPost Development	1.03
Vs/Vr	0.18
Vs	0.34
Storage required (cf)	1039

Fig 11.7 of DEQ Manual



Update Summary Sheet

Print Preview

Print

Site Compliance Summary

Maximum % Reduction Required Below Pre-ReDevelopment Load	10%
---	-----

Total Runoff Volume Reduction (ft ³)	885
Total TP Load Reduction Achieved (lb/yr)	1.02
Total TN Load Reduction Achieved (lb/yr)	3.97
Remaining Post Development TP Load (lb/yr)	0.56
Remaining TP Load Reduction (lb/yr) Required	0.00

**** TARGET TP REDUCTION EXCEEDED BY 0.77 LB/YEAR ****

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	0.16	0.00	0.00	0.00	0.00	0.16
Impervious Cover (acres)	0.69	0.00	0.00	0.00	0.00	0.69
Total Area (acres)	0.85	0.00	0.00	0.00	0.00	0.85

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Reduced (lb/yr)	1.02	0.00	0.00	0.00	0.00	1.02
TN Load Reduced (lb/yr)	3.97	0.00	0.00	0.00	0.00	3.97

Drainage Area A Summary

Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0
Managed Turf (acres)	0.00	0.00	0.00	0.16	0.16	19
Impervious Cover (acres)	0.00	0.00	0.00	0.69	0.69	81
					0.85	

BMP Selections

Practice	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	BMP Treatment Volume (ft ³)	TP Load from Upstream Practices (lbs)	Untreated TP Load to Practice (lbs)	TP Removed (lb/yr)	TP Remaining (lb/yr)	Downstream Treatment to be Employed
1.a. Vegetated Roof #1 (Spec #5)		0.13	448.31		0.28	0.13	0.15	
14.b. Manufactured Treatment Device-Filtering	0.07	0.54	1,925.72	0.00	1.21	0.60	0.60	

Total Impervious Cover Treated (acres)	0.67
Total Turf Area Treated (acres)	0.07
Total TP Load Reduction Achieved in D.A. (lb/yr)	1.02
Total TN Load Reduction Achieved in D.A. (lb/yr)	3.97

Runoff Volume and CN Calculations

	1-year storm	2-year storm	10-year storm
Target Rainfall Event (in)	2.70	3.20	5.20

Drainage Areas	RV & CN	Drainage Area A	Drainage Area B	Drainage Area C	Drainage Area D	Drainage Area E
CN	95	0	0	0	0	0
RR (ft ³)	885	0	0	0	0	0
1-year return period	RV wo RR (ws-in)	2.16	0.00	0.00	0.00	0.00
	RV w RR (ws-in)	1.87	0.00	0.00	0.00	0.00
	CN adjusted	92	0	0	0	0
2-year return period	RV wo RR (ws-in)	2.64	0.00	0.00	0.00	0.00
	RV w RR (ws-in)	2.36	0.00	0.00	0.00	0.00
	CN adjusted	92	0	0	0	0
10-year return period	RV wo RR (ws-in)	4.62	0.00	0.00	0.00	0.00
	RV w RR (ws-in)	4.33	0.00	0.00	0.00	0.00
	CN adjusted	92	0	0	0	0

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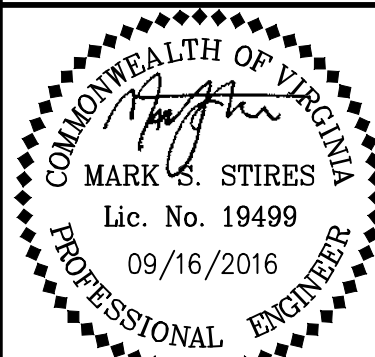
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STORMWATER MANAGEMENT COMPUTATIONS
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA



PLAN STATUS	
02/15/16	CONCEPT I
04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2

DATE	DESCRIPTION
CNN DESIGN	CNN DRAWN
MCS	CHKD

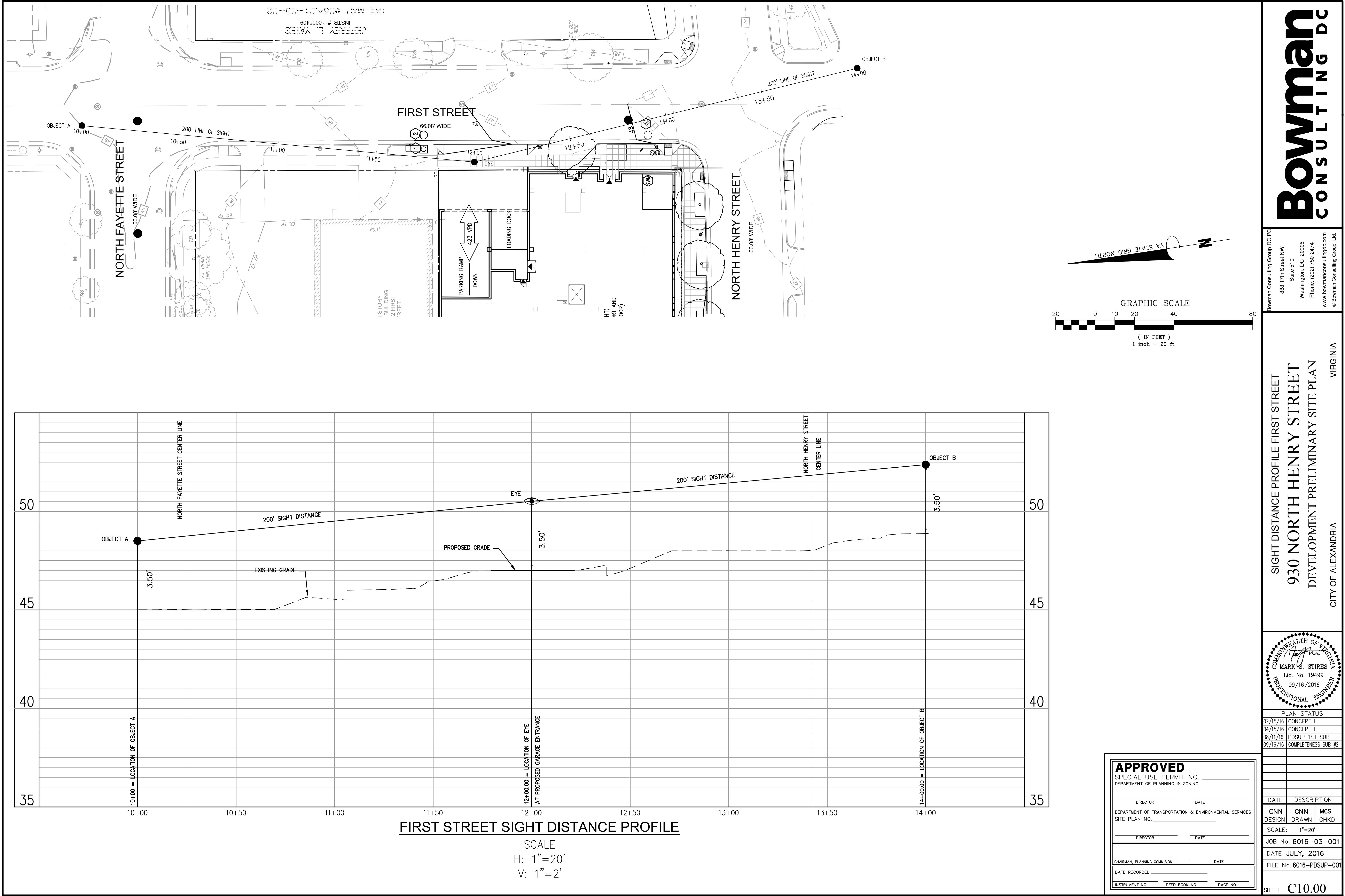
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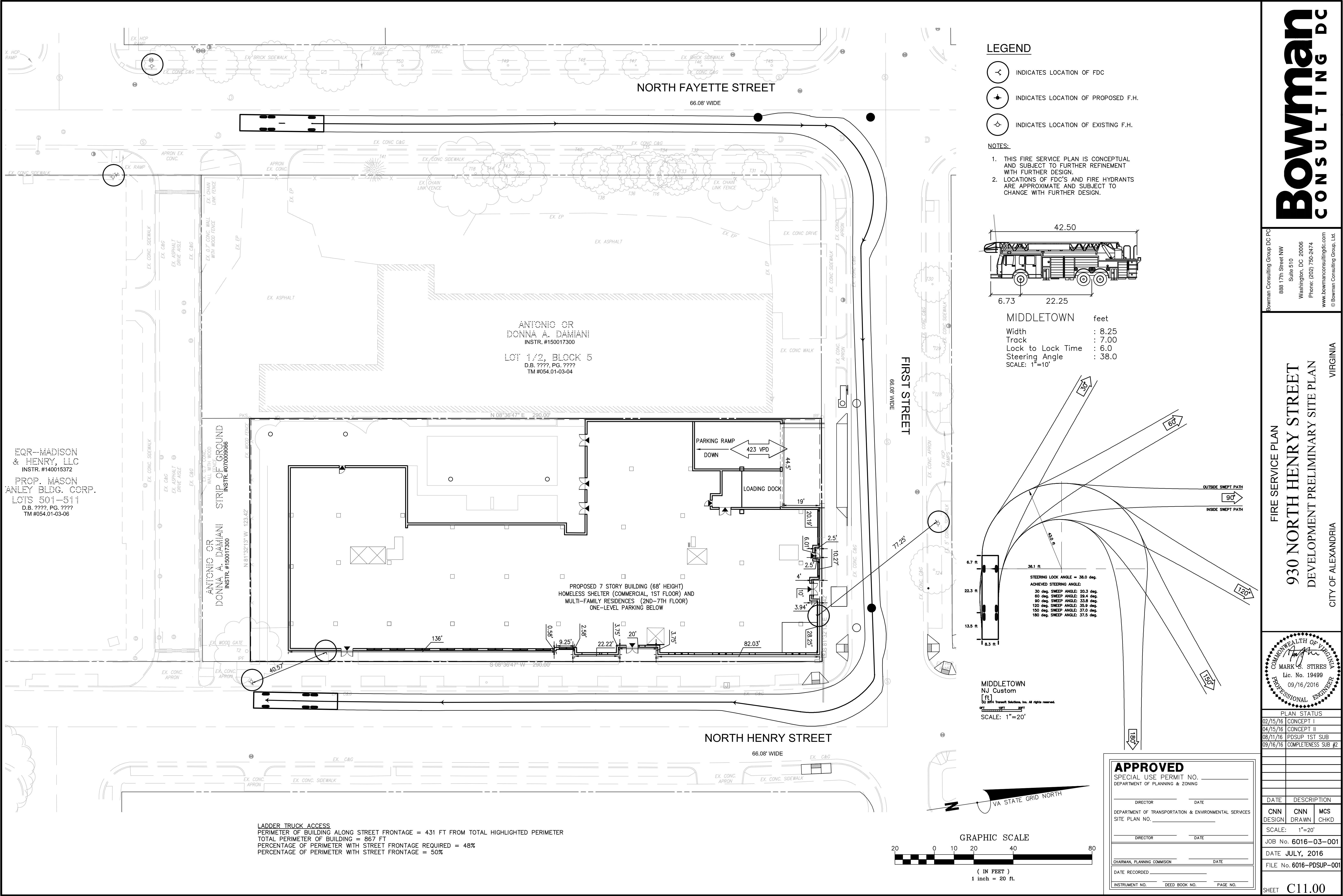
JOB No. 6016-03-001

DATE JULY, 2016

FILE No. 6016-PDSUP-001

SHEET C9.30





EGR-MADISON
& HENRY, LLC
INSTR. #140015372
PROP. MASON
ANLEY BLDG. CORP.
LOTS 501-511
D.B. 7777, PG. 7777
TM #054.01-03-06

ANTONIO OR
DONNA A. DAMIANI
INSTR. #150017300
N 81°22'13" W 123.42'

ANTONIO OR
DONNA A. DAMIANI
INSTR. #150017300
LOT 1/2, BLOCK 5
D.B. 7777, PG. 7777
TM #054.01-03-04

PROPOSED 7 STORY BUILDING (68' HEIGHT)
HOMELESS SHELTER (COMMERCIAL, 1ST FLOOR) AND
MULTI-FAMILY RESIDENCES (2ND-7TH FLOOR)
ONE-LEVEL PARKING BELOW

MIDDLETOWN
NJ Custom
[ft]
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SCALE: 1"=20'

FIRE SERVICE PLAN
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA

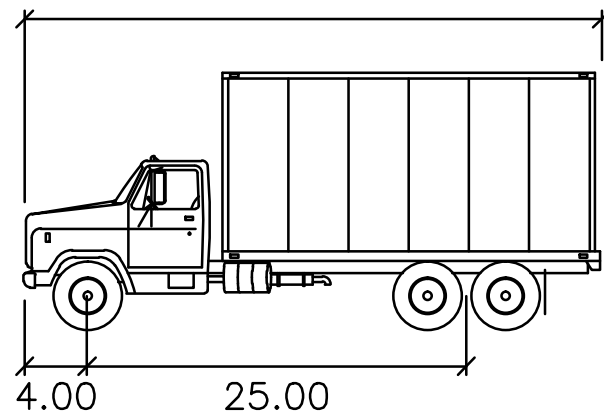
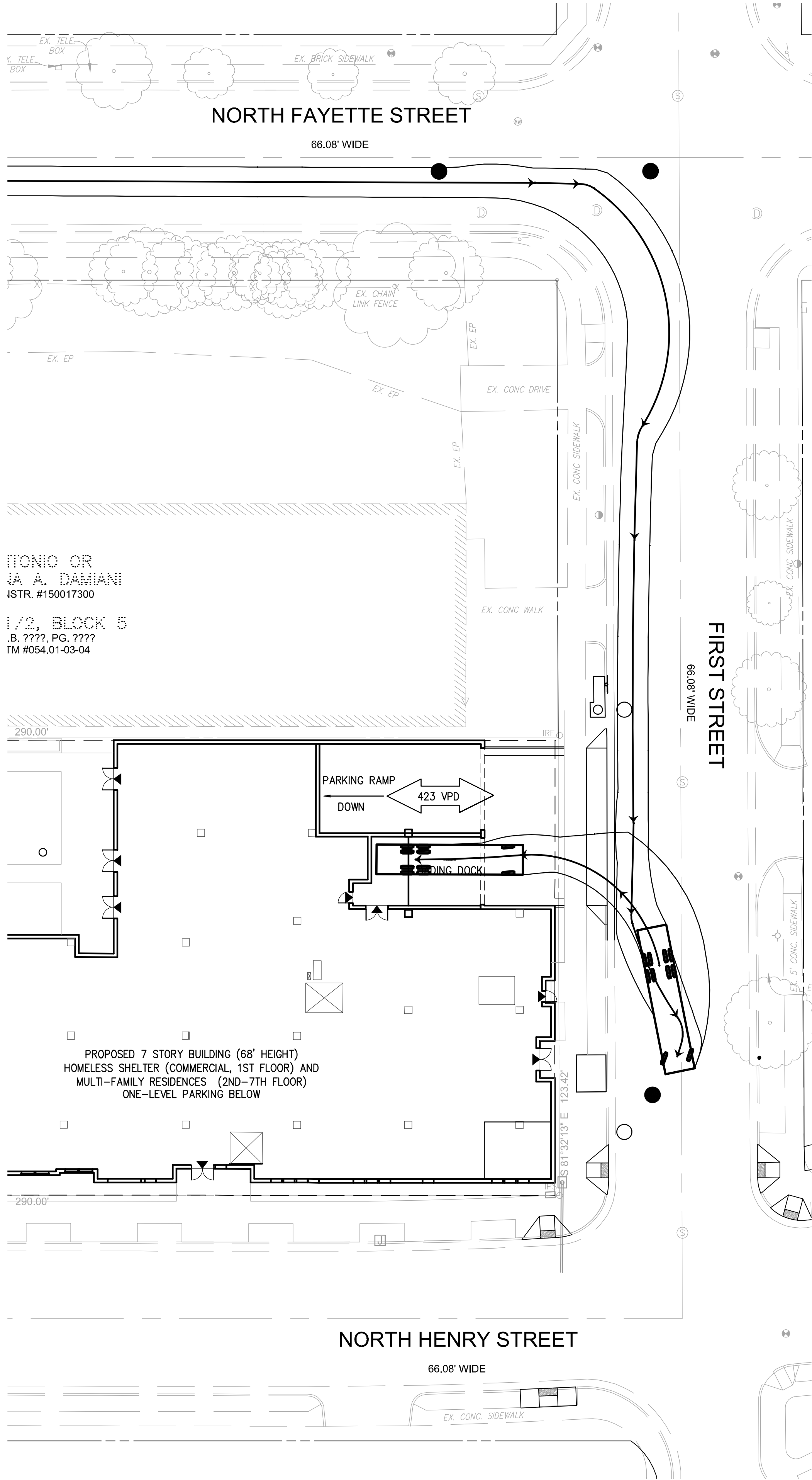
COMMONWEALTH OF VIRGINIA
MARK S. STIRES
Lic. No. 19499
09/16/2016
PROFESSIONAL ENGINEER

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CNN DESIGN CNN DRAWN MCS CHKD
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FILE No. 6016-PDSUP-001

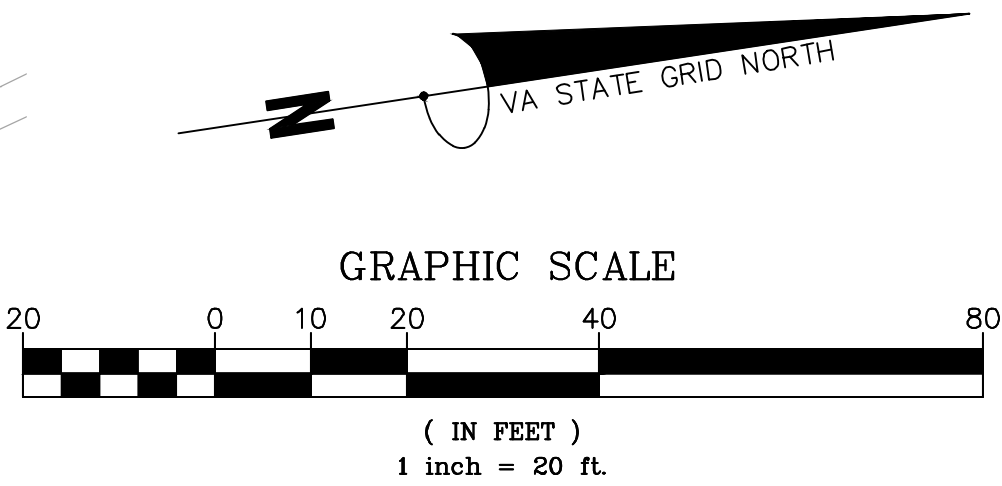
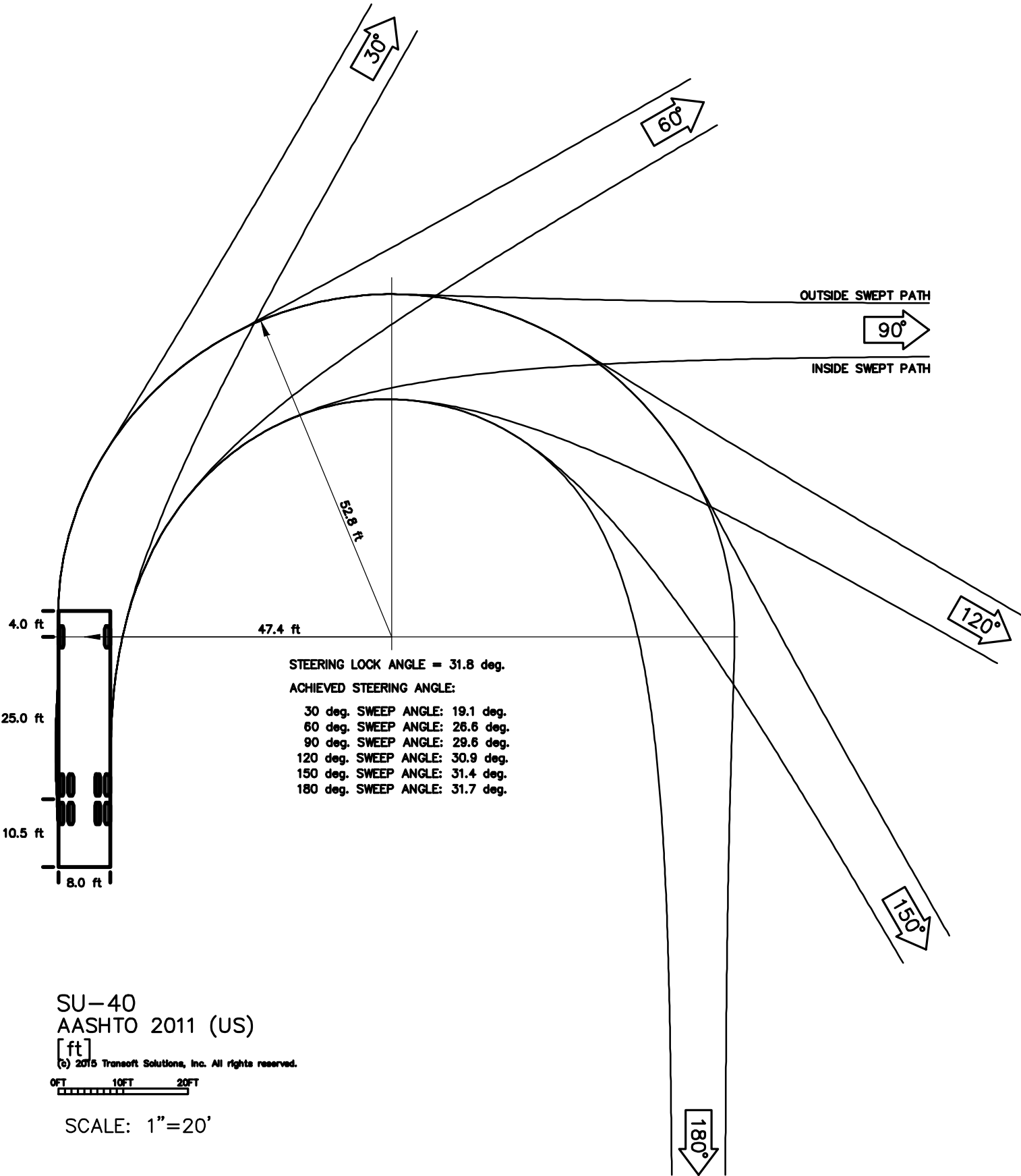
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SU-40 feet
Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 31.8
SCALE: 1"=10'



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DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA

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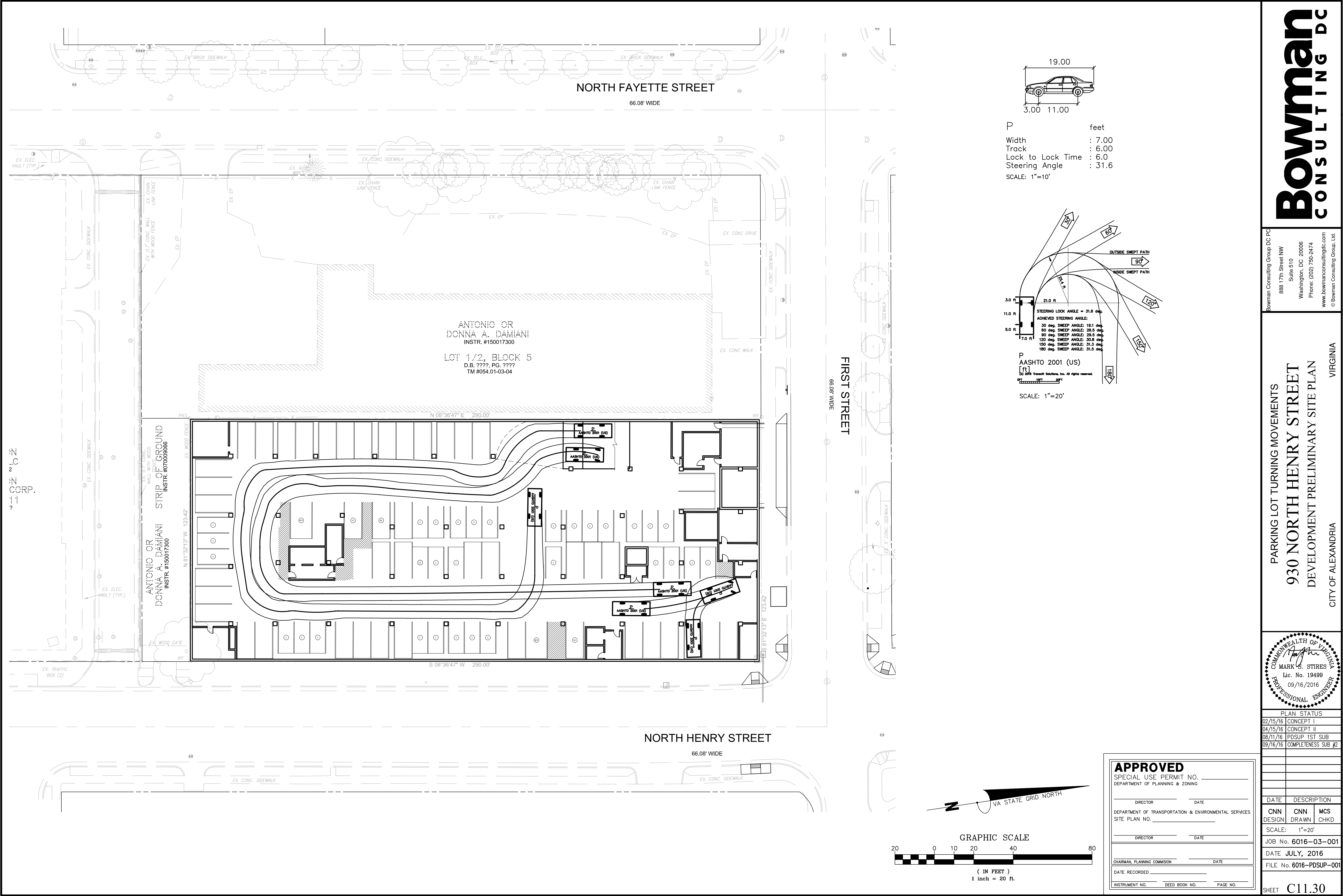
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04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2

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CNN DESIGN	CNN DRAWN
MCS	CHKD
SCALE: 1"=20'	
JOB No. 6016-03-001	
DATE JULY, 2016	
FILE No. 6016-PDSUP-001	

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PARKING LOT TURNING MOVEMENTS
930 NORTH HENRY STREET
DEVELOPMENT PRELIMINARY SITE PLAN

VIRGINIA
CITY OF ALEXANDRIA

COMMONWEALTH OF VIRGINIA
MARK S. STIRES
Lic. No. 19499
09/16/2016
PROFESSIONAL ENGINEER

PLAN STATUS	
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SITE PLAN NO. _____

DIRECTOR _____ DATE _____

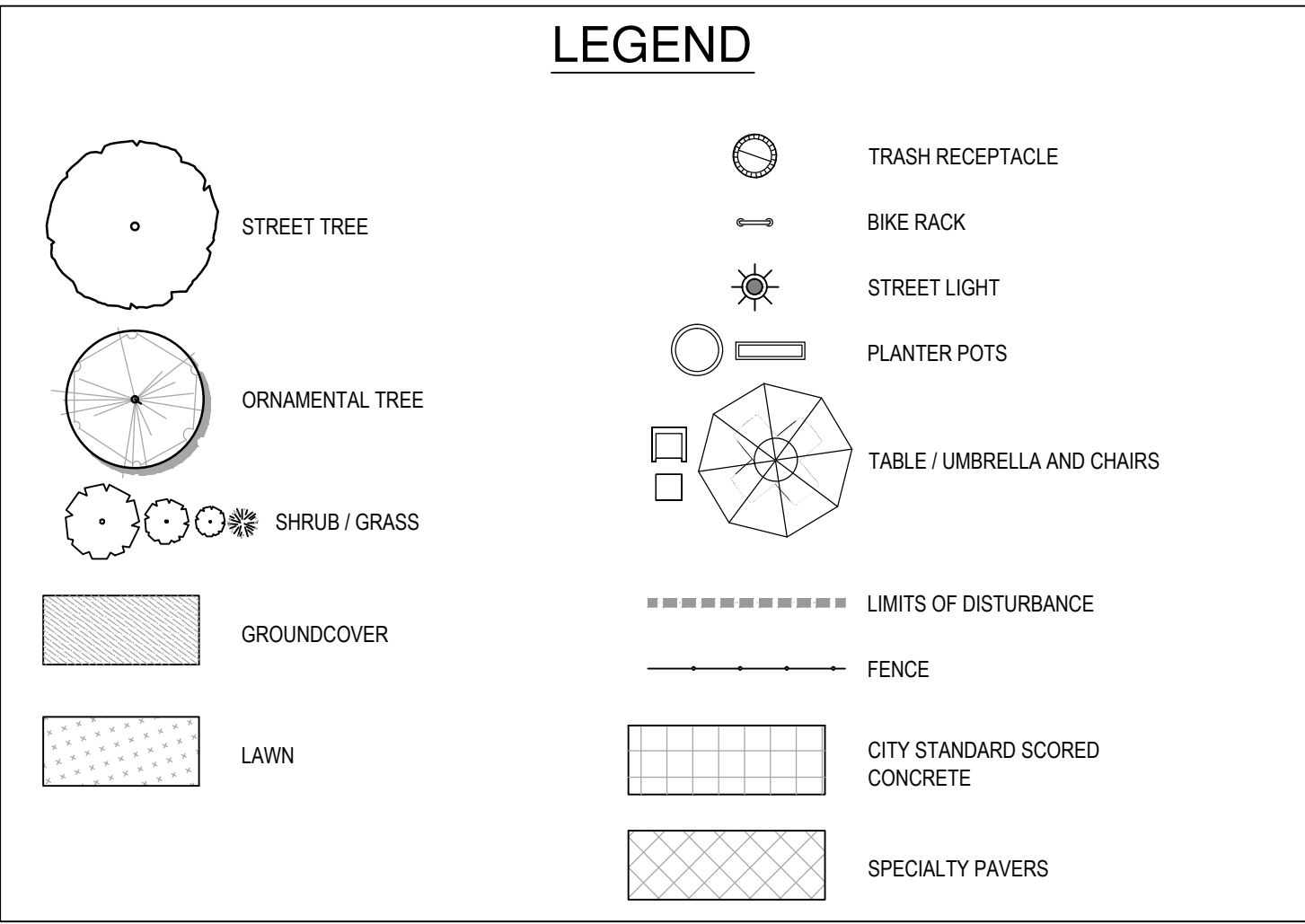
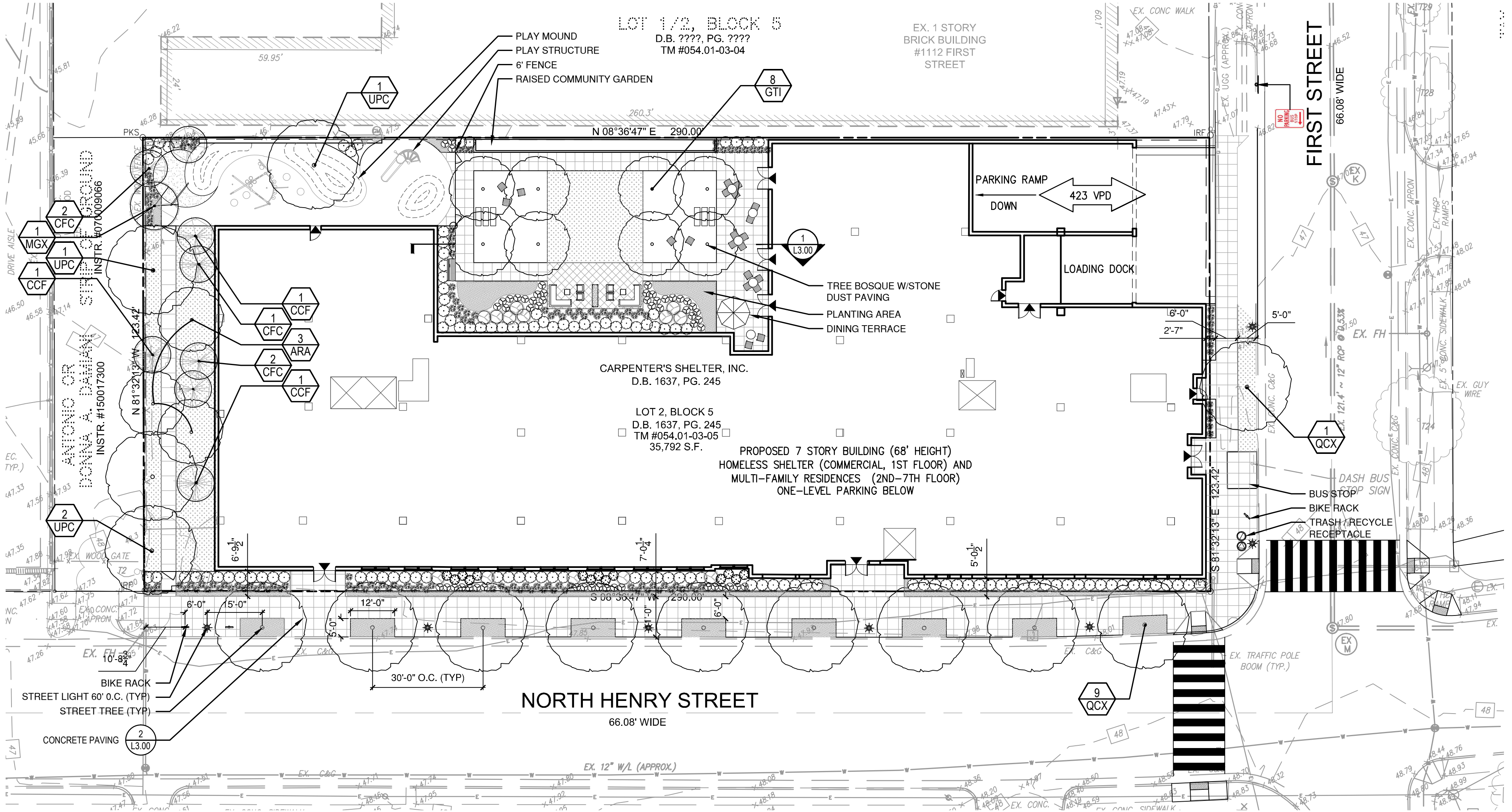
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FILE No. 6016-PDSUP-001	

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PLANT SCHEDULE:

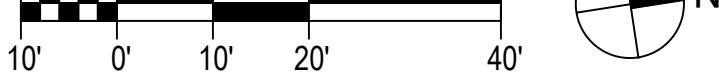
				CCA	
QTY KEY	LATIN NAME	COMMON NAME	SIZE	EA	SUBTOTAL
STREET TREES					
10 QCX	Quercus coccinea	Scarlet Oak	4" cal., B&B.		
EVERGREEN TREES					
1 MGX	Magnolia grandiflora	Southern Magnolia	2-2 1/2" cal., 10' ht., B&B.	500	250
SHADE TREES					
3 ARA	Acer rubrum 'Armstrong'	Armstrong Red Maple	3" cal., B&B.	500	750
8 GFI	Gleditsia tricanthos var. inermis	Thornless Honeylocust	4" cal., B&B.	750	3,000
4 UPC	Ulmus parvifolia	Chinese Elm	3" cal., B&B.	1,250	2,500
ORNAMENTAL AND EVERGREEN TREES					
2 CCF	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2-2 1/2" cal., 10' ht., B&B.	500	500
6 CFC	Cornus florida 'Cloud Nine'	Cloud Nine Eastern Dogwood	2-2 1/2" cal., 10' ht., B&B.	500	1,500
1 MGX	Magnolia grandiflora	Southern Magnolia	2-2 1/2" cal., 10' ht., B&B.	500	250
SHRUBS					
150	Shrubs greater than 2' in height			2	150
	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	3 gal.		
	Hydrangea quercifolia 'Snow Queen'	Oakleaf Hydrangea	5 gal.		
	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 gal.		
	Rosa hybrida 'Radtke'	Double Knockout Rose	3 gal.		
	Itea virginica 'Sprich'	Little Henry Sweetspire	3 gal.		
	Rhododendron atlanticum	Dwarf Azalea	3 gal.		
*Plantings above structure - CCA credit shall be 50% of the designated allowance.				TOTAL	8,900

*Plantings above structure - CCA credit shall be 50% of the designated allowance.

CROWN COVERAGE CALCULATIONS:

Site Area	35,792 SF (0.8) ac
Required Crown Coverage	8,948 SF (25%)
Crown Coverage Provided (See Sched.)	8,900 SF (25%)

Scale: 1" = 20' - 0"



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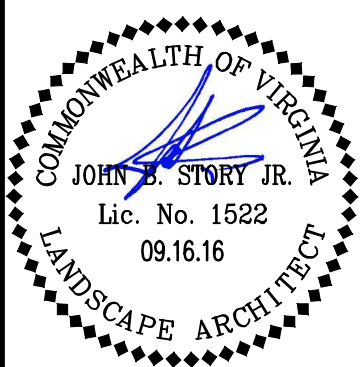
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DATE	
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PAGE NO.	

LANDSCAPE PLAN
930 NORTH HENRY STREET
CONCEPT II

VIRGINIA

CITY OF ALEXANDRIA



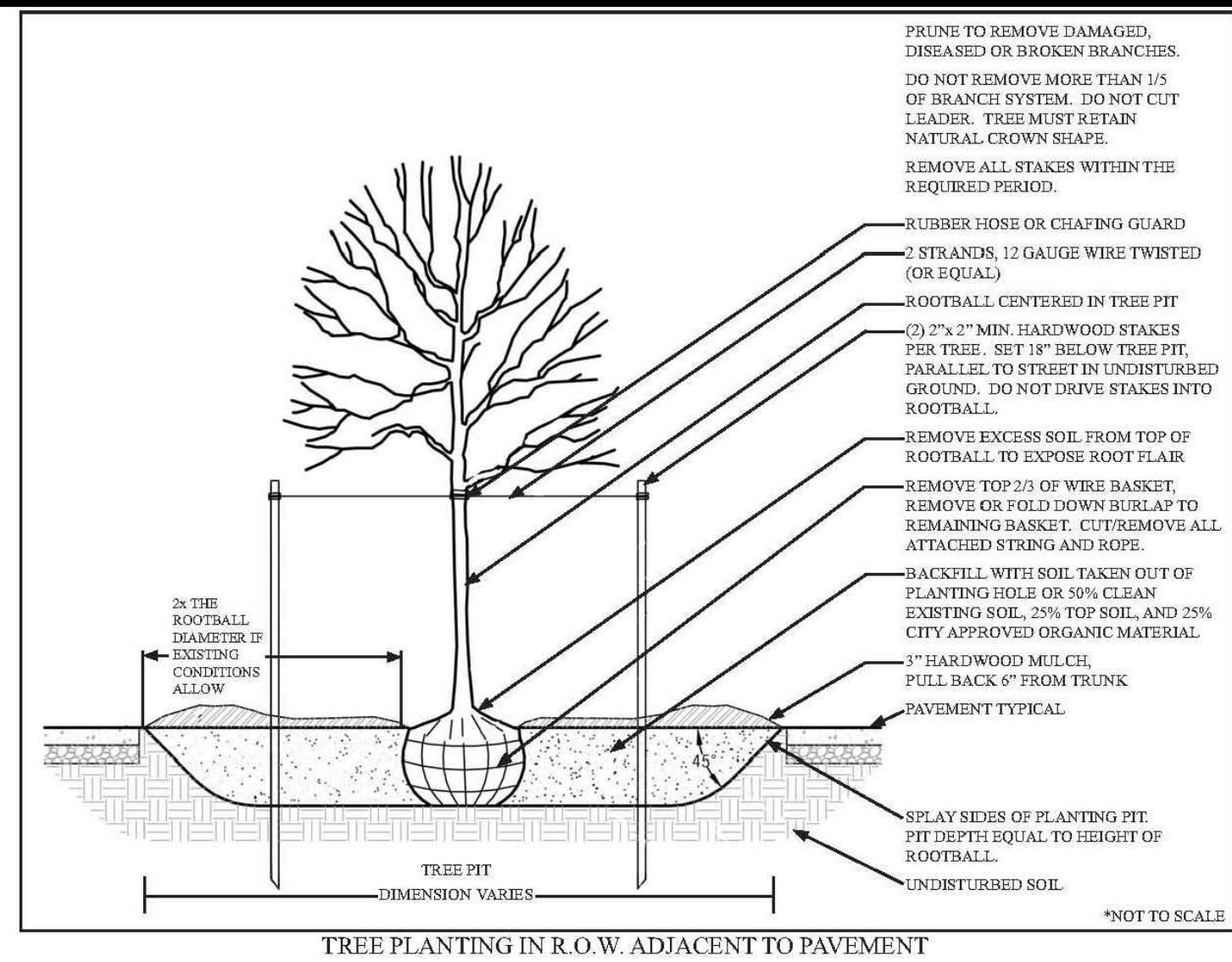
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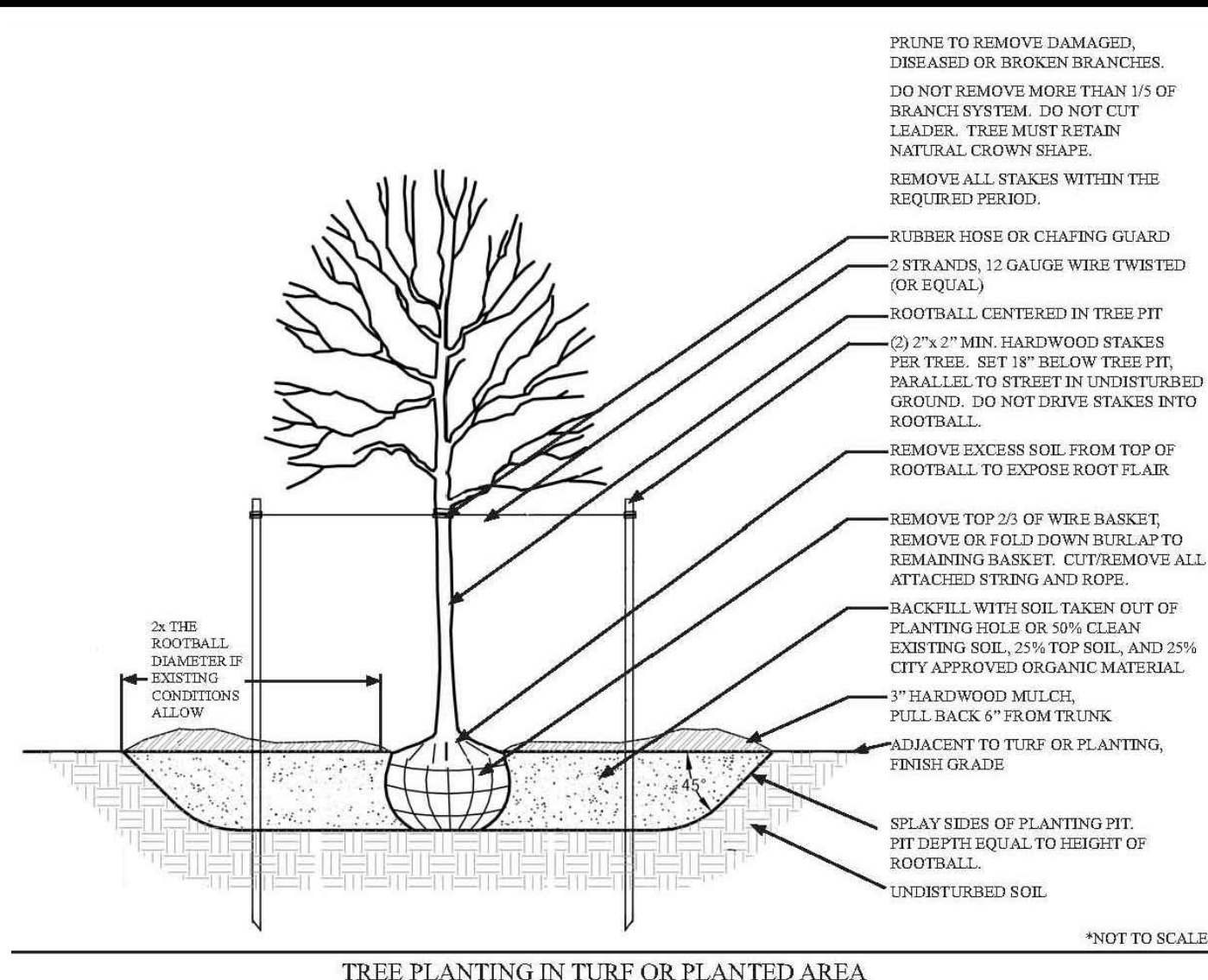
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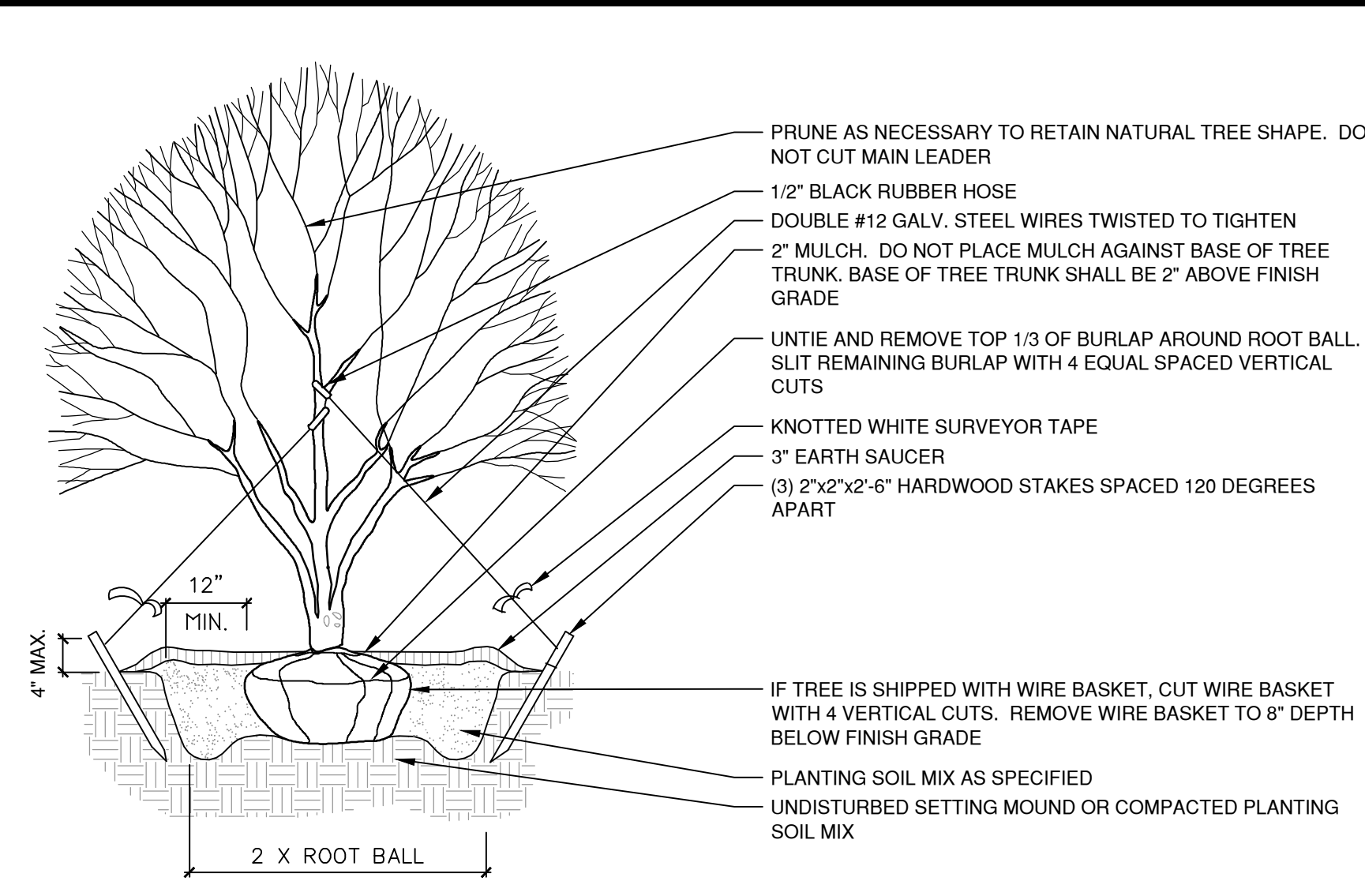
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Landscape Guidelines - City of Alexandria, Virginia - 2007

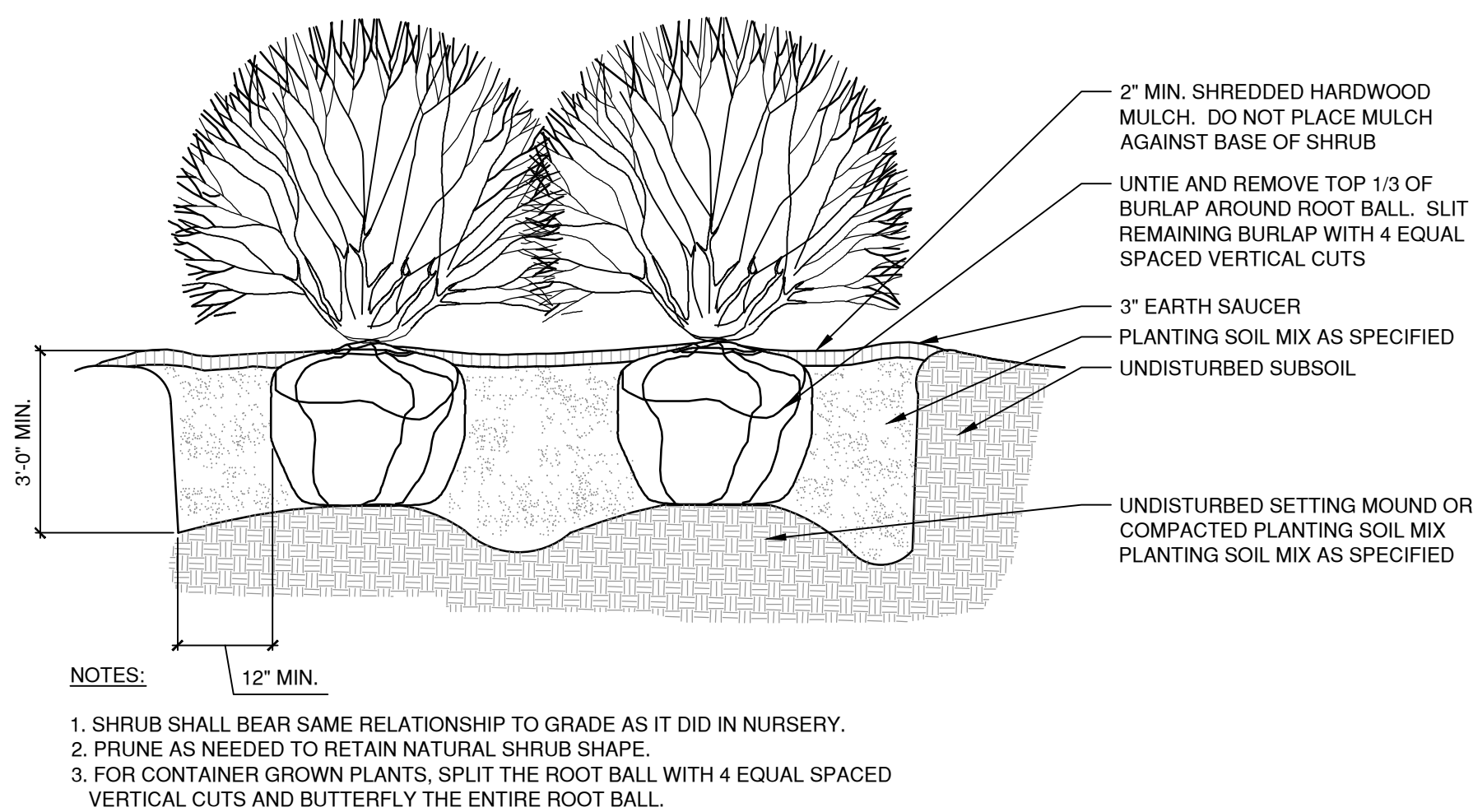


Landscape Guidelines - City of Alexandria, Virginia - 2007



DECIDUOUS TREE (STREET TREE CONDITION)

Scale: NTS

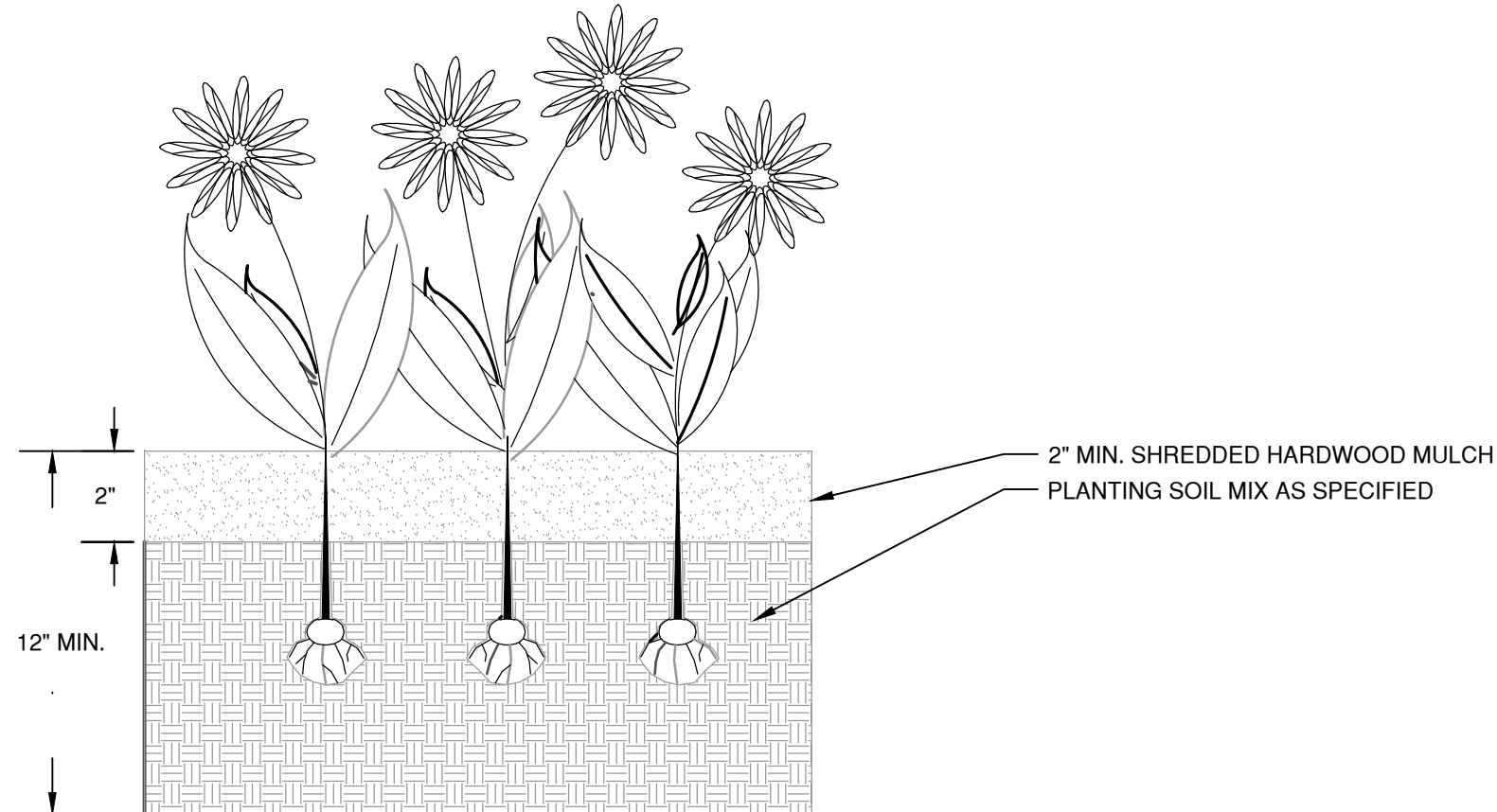


SHRUB PLANTING

Scale: NTS

DECIDUOUS TREE (NON-STREET TREE)

Scale: NTS



GROUND COVER-PERENNIAL-ANNUAL

Scale: NTS

8 MULTI-STEM ORNAMENTAL TREE

Scale: NTS

PLANT SPACING CHART		
SPACING "D"	ROW "A"	PLANTS / SF.
6" O.C.	5.20" O.C.	4.61
8" O.C.	6.93" O.C.	2.60
10" O.C.	8.66" O.C.	1.66
12" O.C.	10.40" O.C.	1.15
15" O.C.	13.00" O.C.	0.73
18" O.C.	15.60" O.C.	0.51
24" O.C.	20.80" O.C.	0.29

GROUNDCOVER SPACING

Scale: NTS

REQUIRED NOTES - LANDSCAPE GUIDELINES, CITY OF ALEXANDRIA, APRIL, 2007

1. ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.
2. SPECIFICATION FOR ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSI: Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK, AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSERYMEN; WASHINGTON, DC.
3. THE APPLICANT HAS MADE SUITABLE ARRANGEMENTS FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SUSTAINED PLANTING AND MAINTENANCE WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE. OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS, IN THE EVENT THAT SHORTAGES AND/OR INABILITY TO OBTAIN SPECIFIED PLANTINGS OCCURS, REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTINGS AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPORTATION & ENVIRONMENTAL SERVICES.
4. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES, AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.
5. FOR COMMERCIAL LANDSCAPE INSTALLATION OPERATIONS, A PRE-INSTALLATION CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.
6. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERPETUITY, IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND/OR AS CONDITIONED BY PROJECT APPROVAL.
7. A CERTIFICATION LETTER FOR TREE WELLS, TREE TRENCHES AND PLANTINGS ABOVE STRUCTURE SHALL BE PROVIDED BY THE PROJECTS LANDSCAPE ARCHITECT. THE LETTER SHALL CERTIFY THAT ALL BELOW GRADE CONSTRUCTION IS IN COMPLIANCE WITH APPROVED DRAWINGS AND SPECIFICATIONS. THE LETTER SHALL BE SUBMITTED TO THE CITY ARBORIST AND APPROVED PRIOR TO APPROVAL OF THE FINAL FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT. THE LETTER SHALL BE SUBMITTED BY THE OWNER/APPLICANT/SUCCESSOR AND SEALED AND DATED AS APPROVED BY THE PROJECT'S LANDSCAPE ARCHITECT.
8. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN
9. COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

LANDSCAPE NOTES -City of Alexandria December, 2009

1. ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION, INCLUDING MAINTENANCE AND PENALTIES SHALL BE PREPARED IN COMPLIANCE WITH LANDSCAPE GUIDELINES OF THE CITY OF ALEXANDRIA AND APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING AND CONSTRUCTION ACTIVITIES.
2. ALL VEGETATION PRESERVATION AND PROTECTION METHODS SHALL BE APPROVED I VERIFIED IN FIELD BY THE CITY ARBORIST PRIOR TO COMMENCEMENT OF ANY GROUND DISTURBING ACTIVITY.
3. LOCATION AND METHOD OF REMOVAL OF EXISTING TREES WILL BE SHOWN ON DEMOLITION, SEDIMENT AND EROSION CONTROL, AND LANDSCAPE PLAN SHEETS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT ANY EXISTING LANDSCAPING WHICH IS TO BE RELOCATED ON THE SITE WILL BE CAREFULLY STORED IN A DESIGNATED AREA BEFORE BEING REPLANTED. COORDINATION WITH THE OWNER FOR MUTUALLY AGREEABLE

STORAGE LOCATIONS FOR LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT MATERIAL THAT DOES NOT SURVIVE STORAGE AND REPLANTING.

5. APPLICANT MUST INCLUDE ON THE PLAN DOCUMENTATION OF COMMUNICATION WITH THE ADJACENT PROPERTY OWNER(S) VERIFYING NOTIFICATION OF AND AGREEMENT WITH CONSTRUCTION IMPACT, POTENTIAL FOR LOSS, AND AGREED UPON REMEDIAL MEASURES PERTAINING TO THE EXISTING TREE(S) ON ADJACENT PROPERTIES THAT WILL BE AFFECTED BY PROJECT WORK.
6. INCLUDE SPECIFIC CONSTRUCTION STAGING INFORMATION ON THE PLAN THAT INDICATES THE METHODS, AND PROCEDURES TO BE IMPLEMENTED FOR PROTECTION OF EXISTING ON-SITE AND OFF-SITE VEGETATION.
7. PROPOSED PLANTING SHALL BE PROVIDED IN COMPLIANCE WITH LANDSCAPE GUIDELINES OF THE CITY OF ALEXANDRIA.
8. SPECIFICATION FOR ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSI:Z60.1, THE AMERICAN STANDARD FOR NURSERY STOCK, AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSERYMEN; WASHINGTON, D.C.
9. THE APPLICANT SHALL MAKE SUITABLE ARRANGEMENTS FOR PRE-SELECTION TAGGING, PRE-CONTRACT GROWING, OR IS UNDERTAKING SPECIALIZED PLANTING STOCK DEVELOPMENT WITH A NURSERY OR GROWER THAT IS CONVENIENTLY LOCATED TO THE PROJECT SITE, OR UTILIZING OTHER PROCEDURES THAT WILL ENSURE AVAILABILITY OF SPECIFIED MATERIALS. IN THE EVENT THAT SHORTAGES AND/OR INABILITY TO OBTAIN SPECIFIED PLANTINGS OCCURS, REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTINGS AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. ALL REMEDIAL EFFORTS SHALL, WITH PRIOR APPROVAL BY THE CITY, BE PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPORTATION & ENVIRONMENTAL SERVICES.
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APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
_____ DIRECTOR	_____ DATE
DEPARTMENT OF PLANNING & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
_____ CHAIRMAN, PLANNING COMMISSION	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

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LANDSCAPE NOTES AND DETAILS

930 NORTH HENRY STREET

CONCEPT II

CITY OF ALEXANDRIA

VIRGINIA

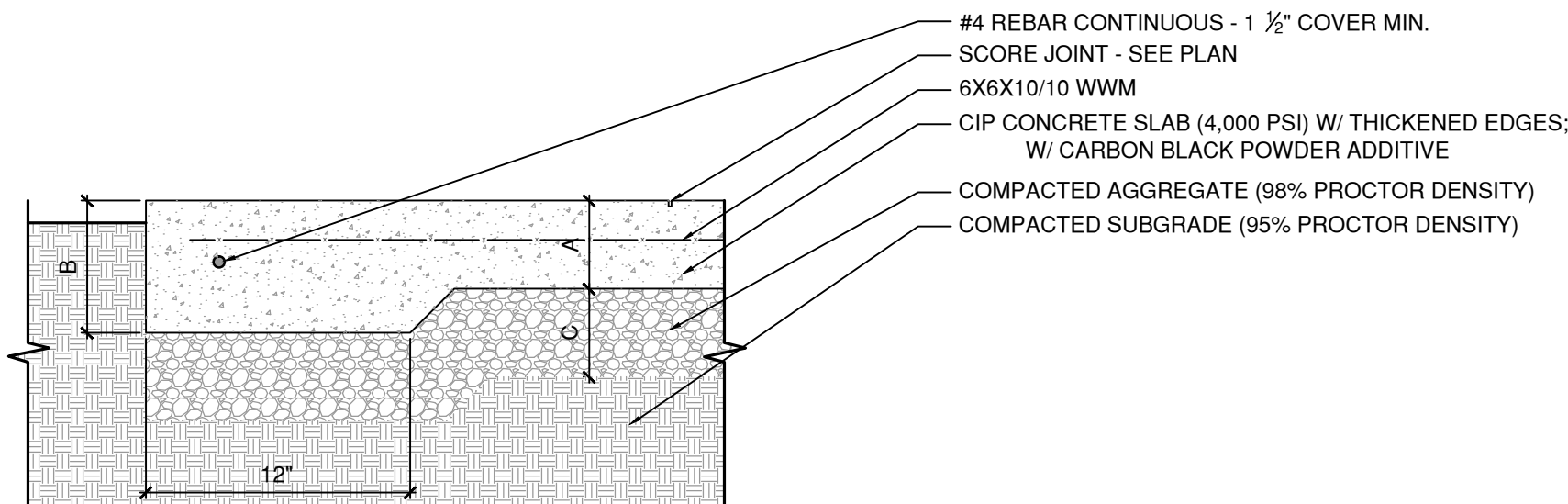
PLAN STATUS	
02/15/16	CONCEPT I
04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2

DATE	DESCRIPTION	
JBS DESIGN	JBS DRAWN	JBS CHKD
SCALE: AS NOTED		
JOB No. 6016-03-00		
DATE APRIL, 2016		
FILE No. 6016-D-CD2-00		

SHEET L2.00



1 COURTYARD SECTION
SECTION
Scale: 1/4" = 1'-0"



PAVEMENT SCHEDULE			
	A	B	C
PEDESTRIAN	0'-4"	0'-8"	0'-4"
VEHICULAR	0'-8"	1'-0"	0'-6"

2 CONCRETE PAVING
SECTION
Scale: 1 1/2" = 1'-0"

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	

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LANDSCAPE DETAILS

930 NORTH HENRY STREET

CONCEPT II

CITY OF ALEXANDRIA

VIRGINIA

PLAN STATUS

02/15/16	CONCEPT I
04/15/16	CONCEPT II
08/11/16	PDSUP 1ST SUB
09/16/16	COMPLETENESS SUB #2

DATE	DESCRIPTION
JBS	JBS
DESIGN	DRAWN
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JOB No. 6016-03-001	
DATE APRIL, 2016	
FILE No. 6016-D-CD2-001	

SHEET

L3.00



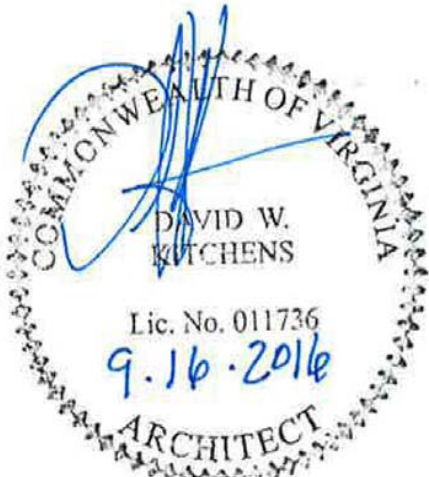
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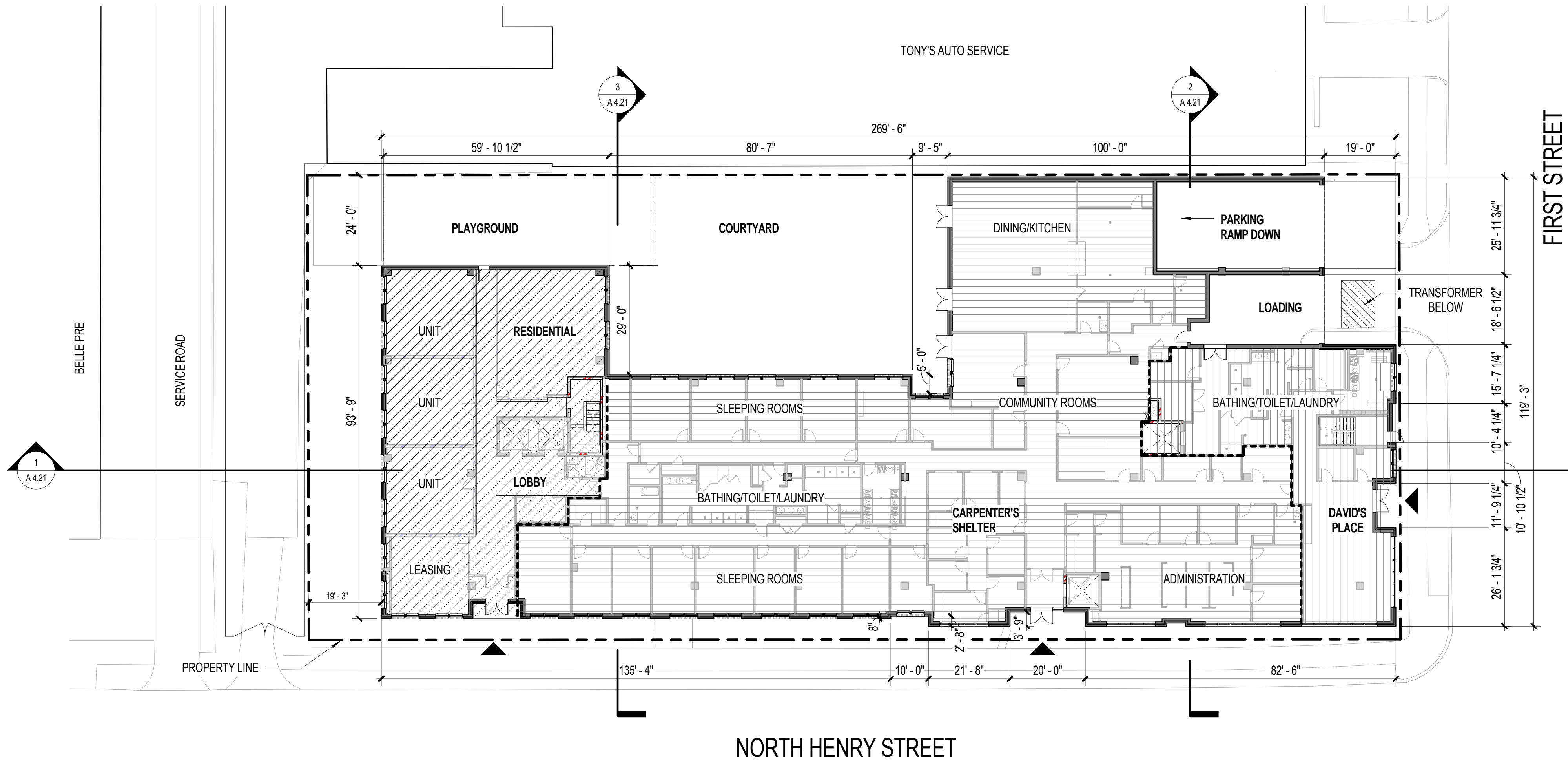
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ISSUANCES		
No.	Drawing Issue Description	Date
1	CONCEPT II SUBMISSION	04/15/2016
2	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
3	COMPLETENESS SUB #2	09/16/2016

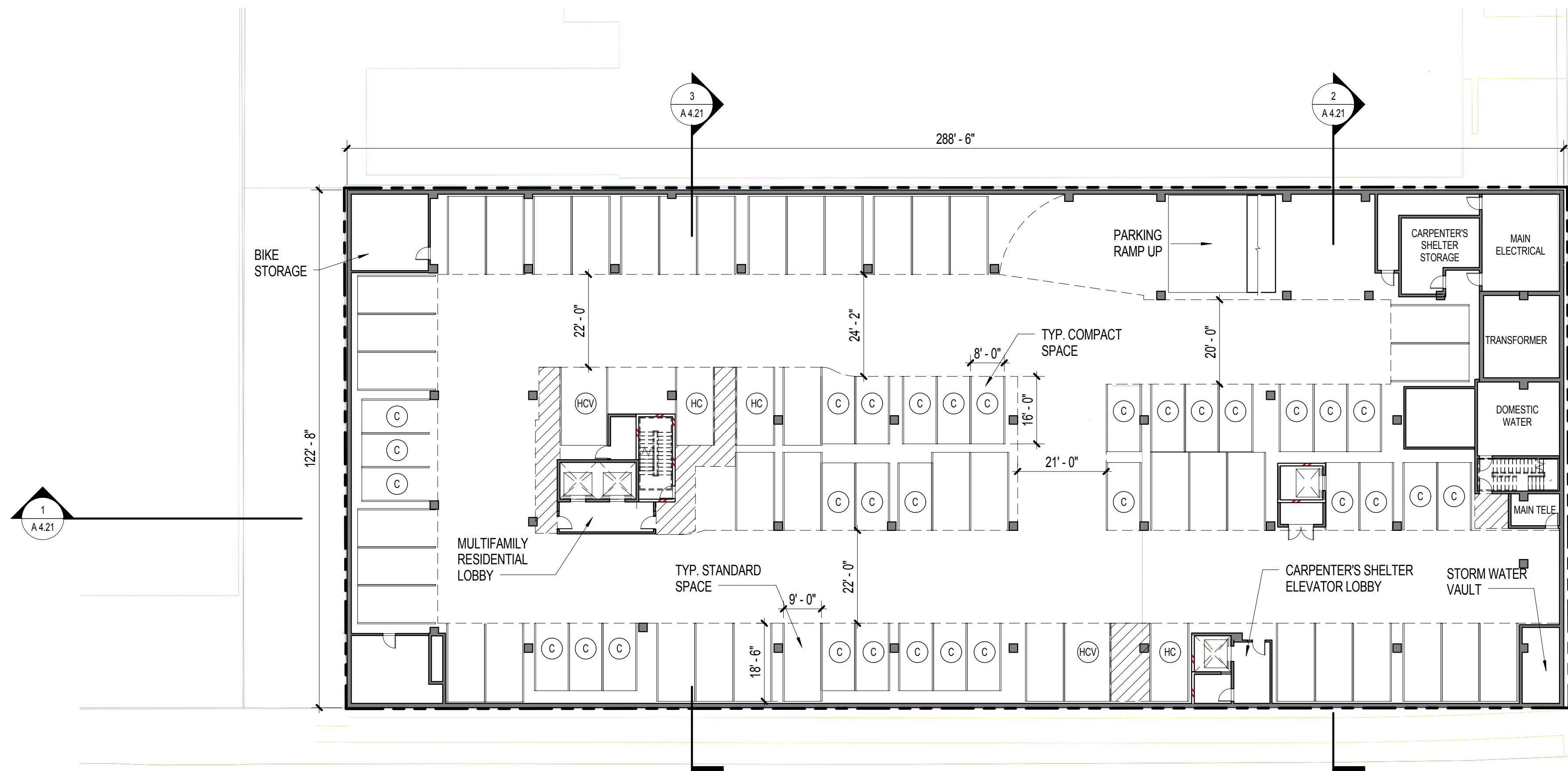


- MULTIFAMILY RESIDENTIAL
- DAVID'S PLACE / WINTER SHELTER
- CARPENTER SHELTER

MULTIFAMILY UNIT MIX

STUDIOS	10 UNITS
1 BEDROOMS	5 UNITS
2 BEDROOMS	71 UNITS
3 BEDROOMS	12 UNITS
TOTAL	98 UNITS

2 CONCEPT FLOOR PLAN - LEVEL 1
A 2.00 SCALE: 1" = 20'-0"



PARKING SCHEDULE MATRIX	
	COMMENTS
PARKING	COMPACT
COMPACT:	31
PARKING	HANDICAP
HANDICAP:	5
PARKING	STANDARD
STANDARD:	42
GRAND TOTAL:	: 78

APPROVED

SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

AHDC / Carpenter's Shelter

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FLOOR PLAN - BELOW GRADE AND LEVEL 1

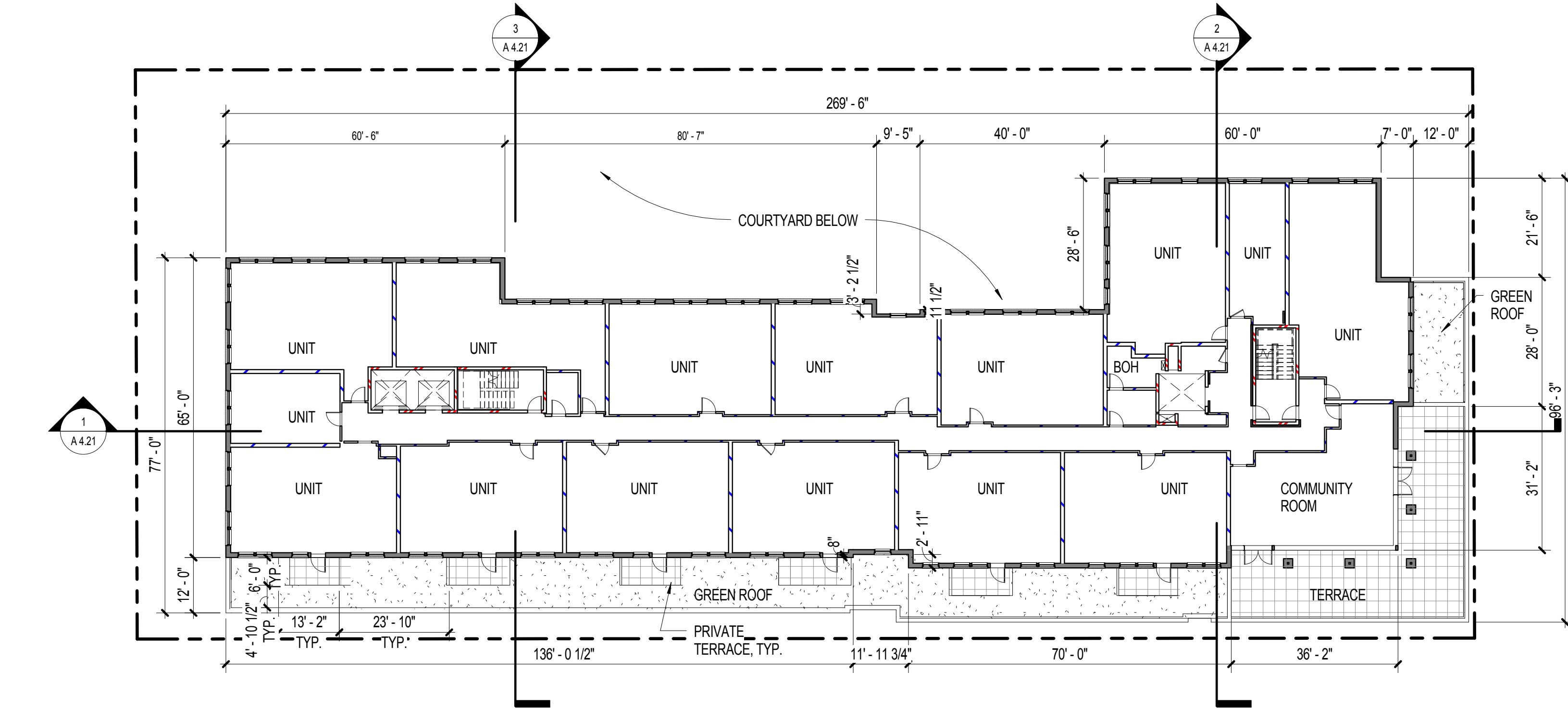
DAVID KITCHENS	20140266
Principal-in-Charge	Project No.
PROJECT MANAGER	08/31/16
Project Manager	Date
PROJECT ARCHITECT	
Project Architect	
STAFF ARCHITECT	
Staff Architect	

A 2.00

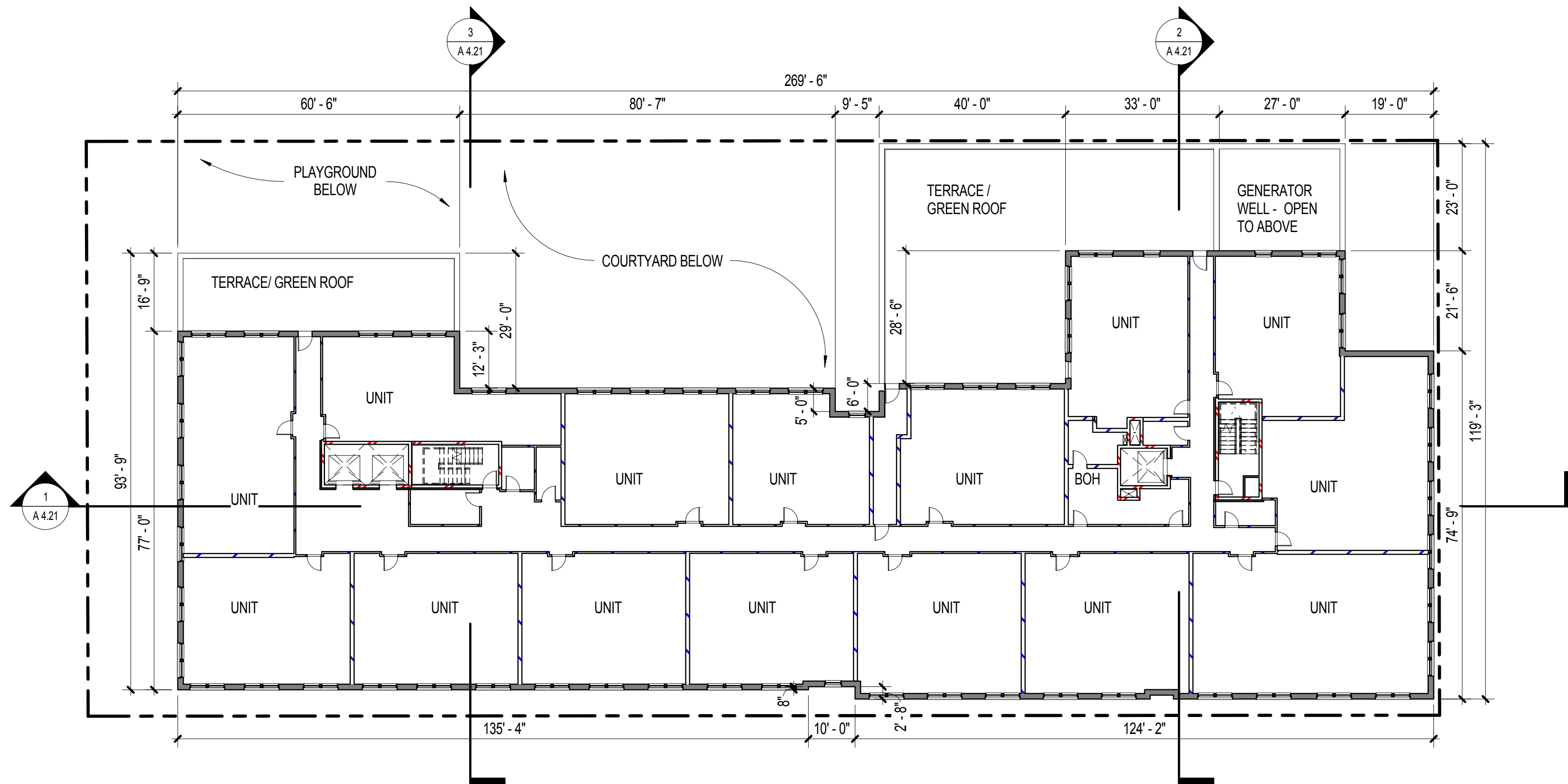
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SHEET NUMBER: A 2.00 - FLOOR PLAN - BELOW GRADE AND LEVEL 1
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PROJECT NUMBER: 20140266 PROJECT NAME: AHDC / Carpenter's Shelter
SHEET NUMBER: A2.01 - FLOOR PLAN - LEVEL 2 AND 3
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2 CONCEPT FLOOR PLAN - LEVEL 3
A 2.01 SCALE: 1"=20'-0"



1 CONCEPT FLOOR PLAN - LEVEL 2
A 2.01 SCALE: 1"=20'-0"

MULTIFAMILY UNIT MIX	
STUDIOS	10 UNITS
1 BEDROOMS	5 UNITS
2 BEDROOMS	71 UNITS
3 BEDROOMS	12 UNITS
TOTAL	98 UNITS

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	



ISSUANCES		
No.	Drawing Issue Description	Date
1	CONCEPT II SUBMISSION	04/15/2016
2	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
3	COMPLETENESS SUB #2	09/16/2016

AHDC / Carpenter's Shelter

930 North Henry Street
Alexandria, VA 22314

AHDC / Carpenter's Shelter

FLOOR PLAN - LEVEL 2 AND 3

DAVID KITCHENS
Principal-in-Charge
PROJECT MANAGER
Project Manager
PROJECT ARCHITECT
Project Architect
STAFF ARCHITECT
Staff Architect

20140266
Project No.
08/31/16
Date

A 2.01



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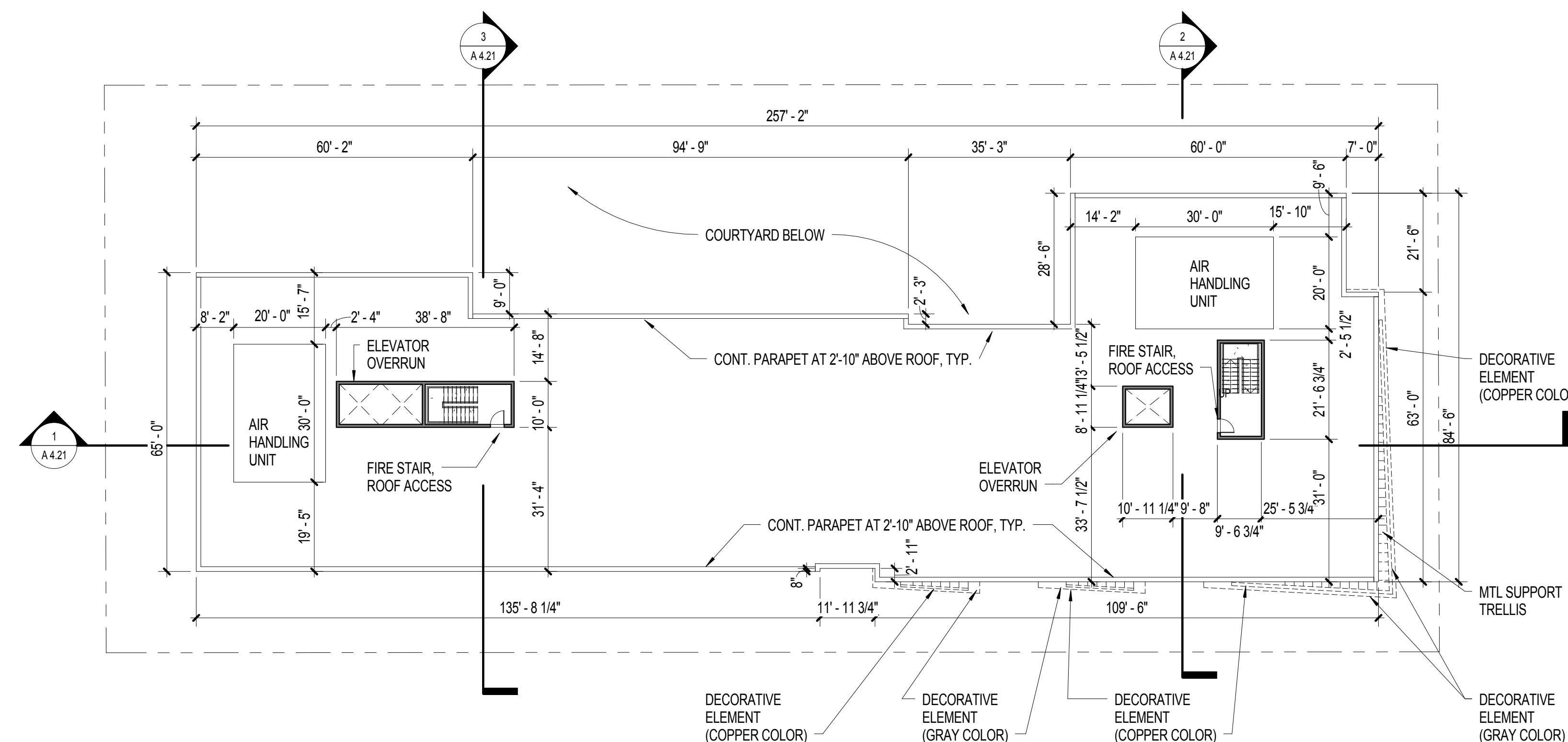
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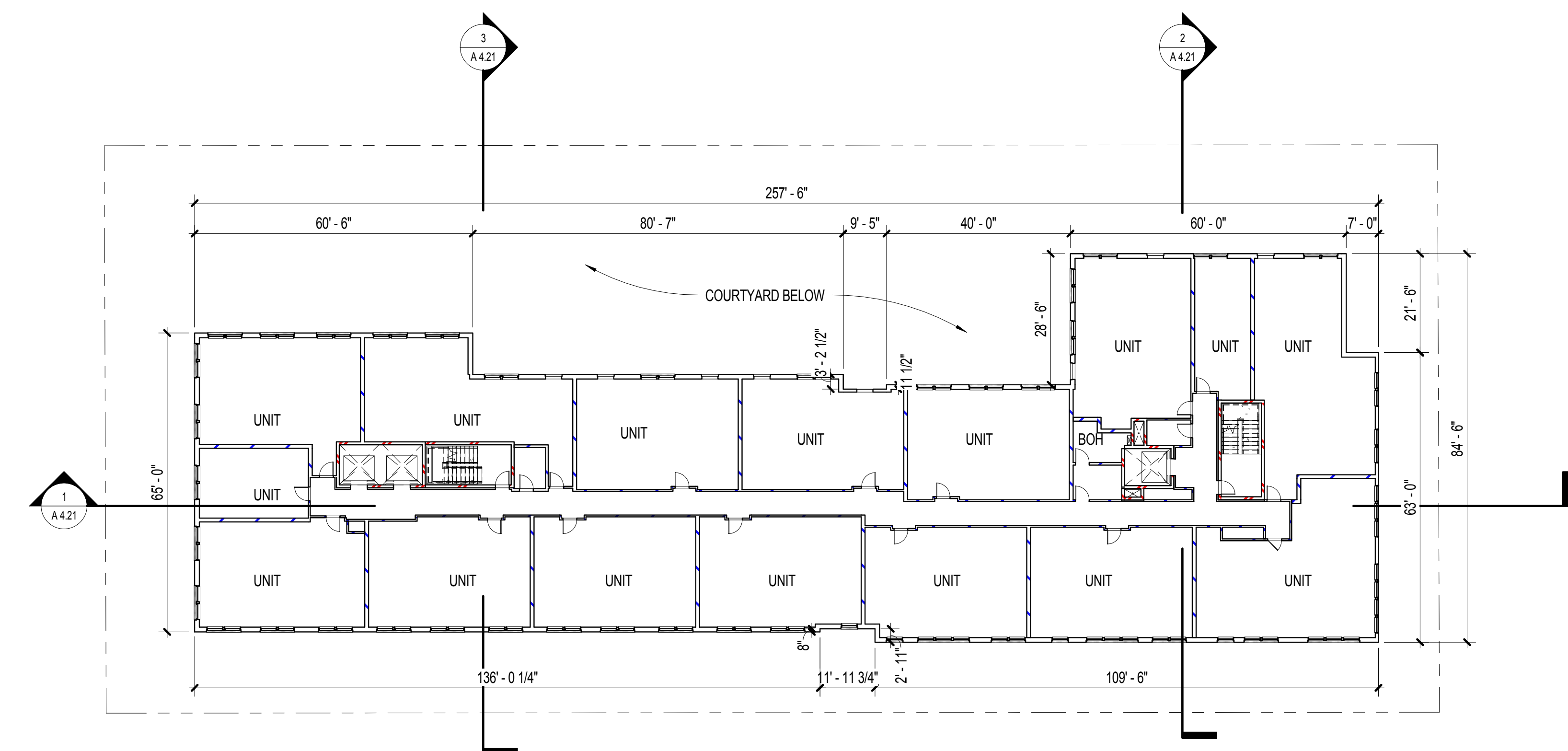
ISSUANCES		
No.	Drawing Issue Description	Date
	CONCEPT II SUBMISSION	04/15/2016
	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
	COMPLETENESS SUB #2	09/16/2016

MULTIFAMILY UNIT MIX	
STUDIOS	10 UNITS
1 BEDROOMS	5 UNITS
2 BEDROOMS	71 UNITS
3 BEDROOMS	12 UNITS
TOTAL	98 UNITS

2 CONCEPT FLOOR PLAN-ROOF LEVEL
A 2.02 SCALE: 1" = 20'-0"



1 CONCEPT FLOOR PLAN - TYPICAL LEVEL
A 2.02 SCALE: 1" = 20'-0"



<h1 style="margin: 0;">APPROVED</h1>		
<h2 style="margin: 0;">SPECIAL USE PERMIT NO. _____</h2>		
DEPARTMENT OF PLANNING & ZONING		
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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____		
_____ DIRECTOR	_____ DATE	
_____ CHAIRMAN, PLANNING COMMISSION		
_____ DATE		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

DAVID KITCHENS	201402266
Principal-in-Charge	Project No.
PROJECT MANAGER	08/31/16
Project Manager	Date
PROJECT ARCHITECT	
Project Architect	
STAFF ARCHITECT	
Staff Architect	

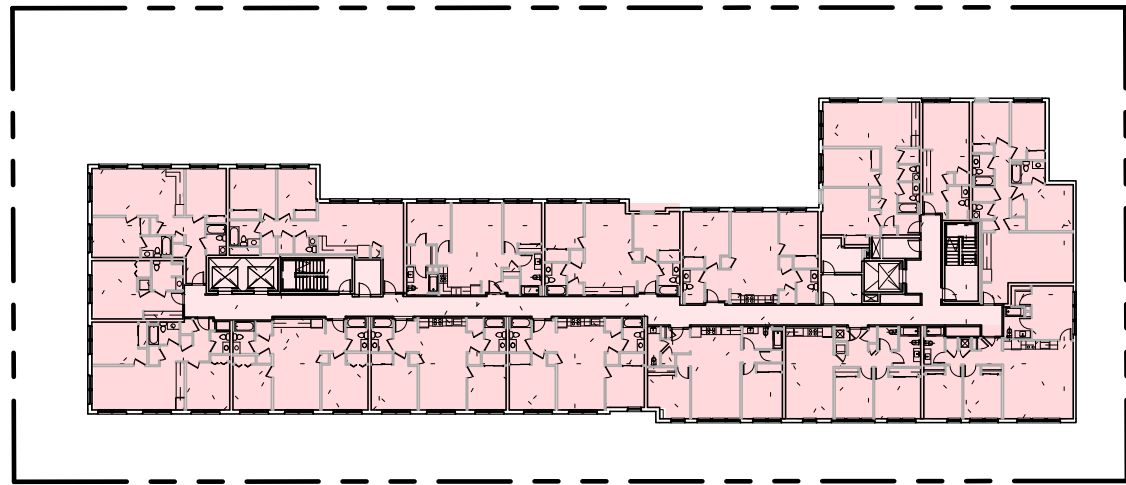
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Drawing No. _____

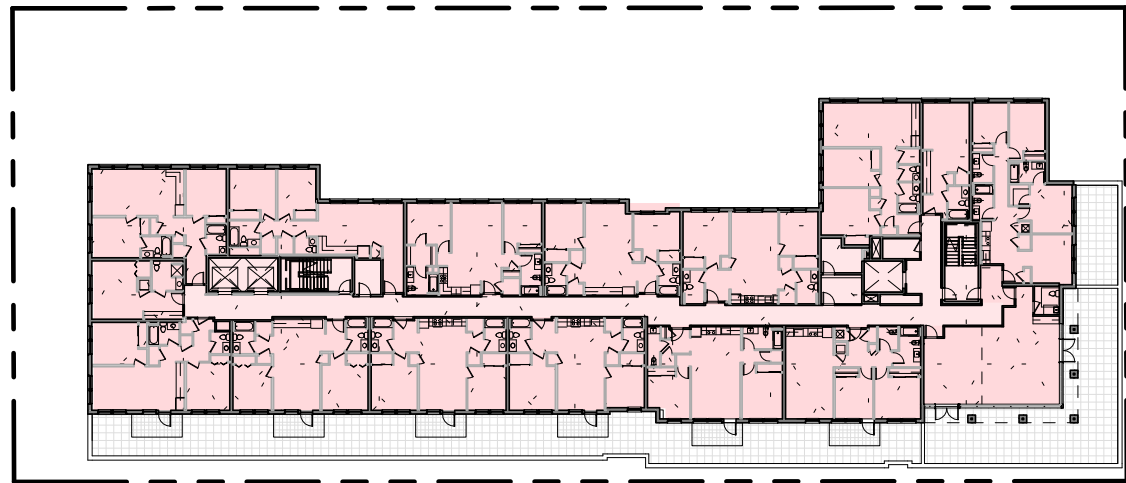
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SHEET NUMBER: A 202 - FLOOR PLAN - TYPICAL LEVEL AND ROOF
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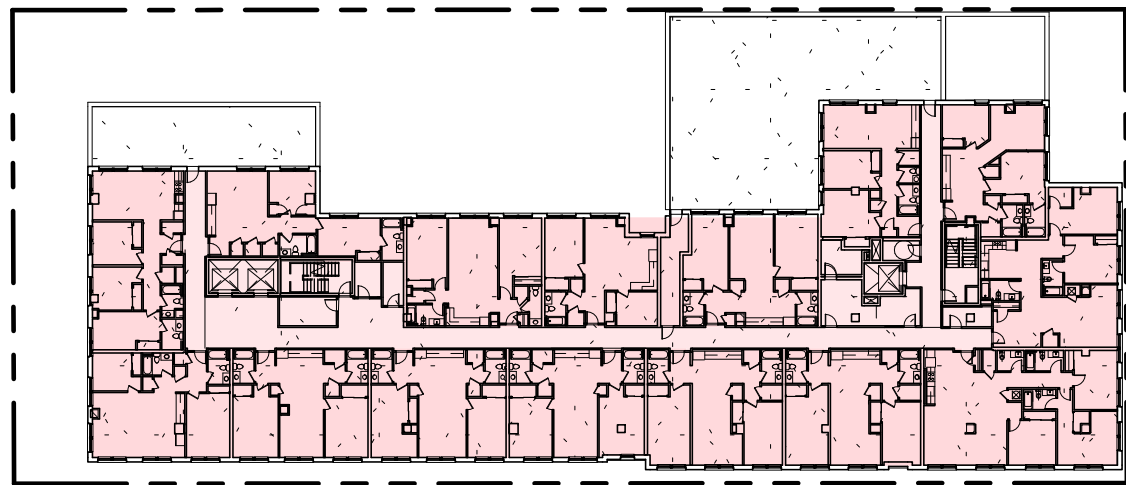
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SHEET NUMBER: A-2.10 - AREA PLANS AND OCCUPANCY DIAGRAM
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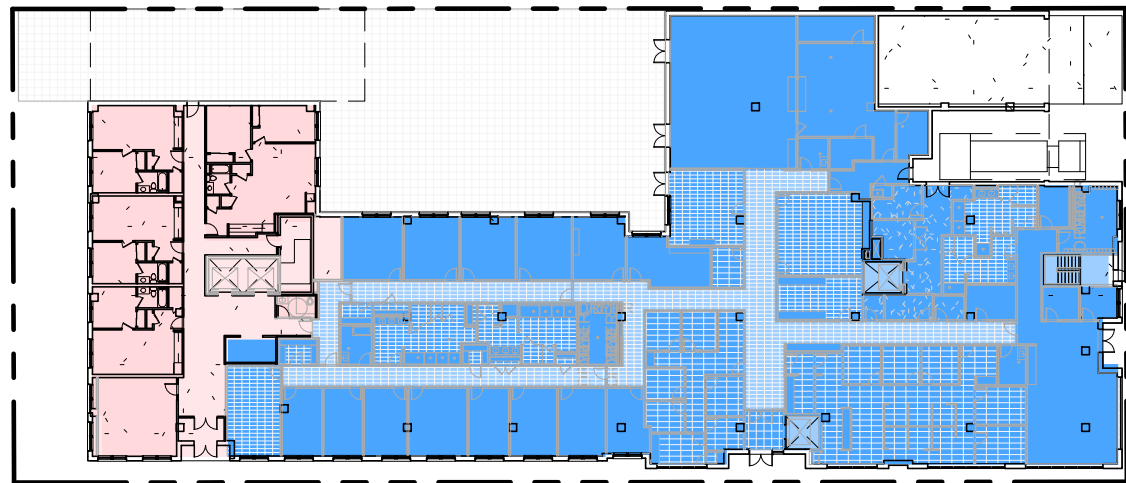
TYPICAL UPPER LEVEL



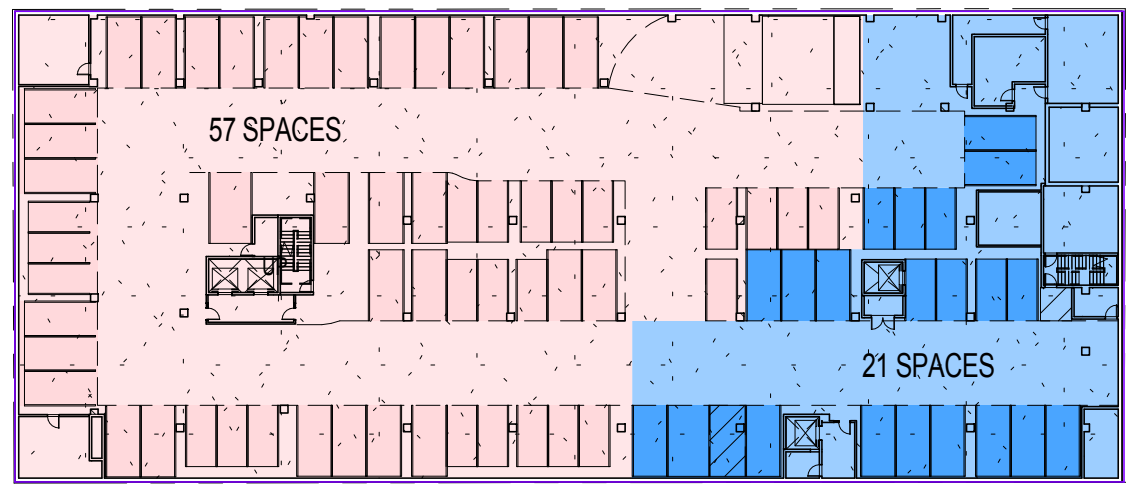
LEVEL 3



LEVEL 2



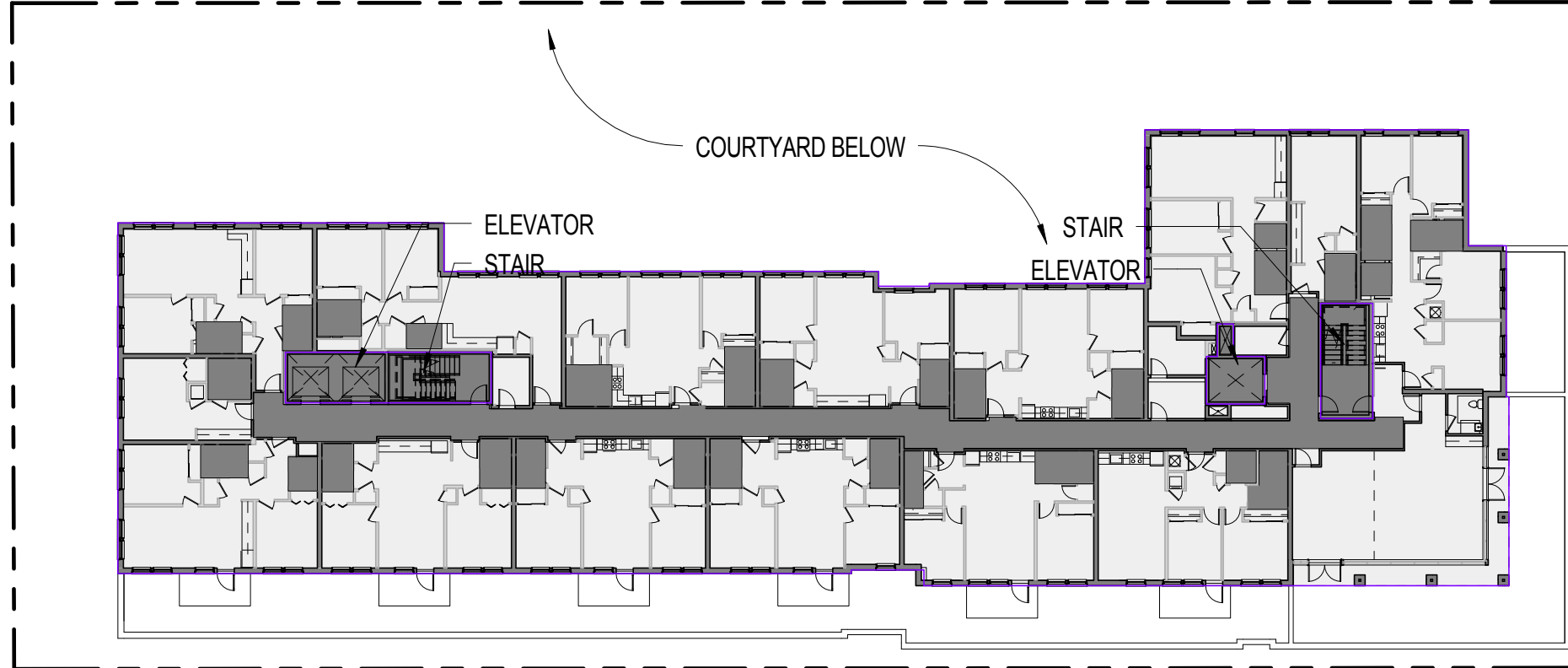
LEVEL 1



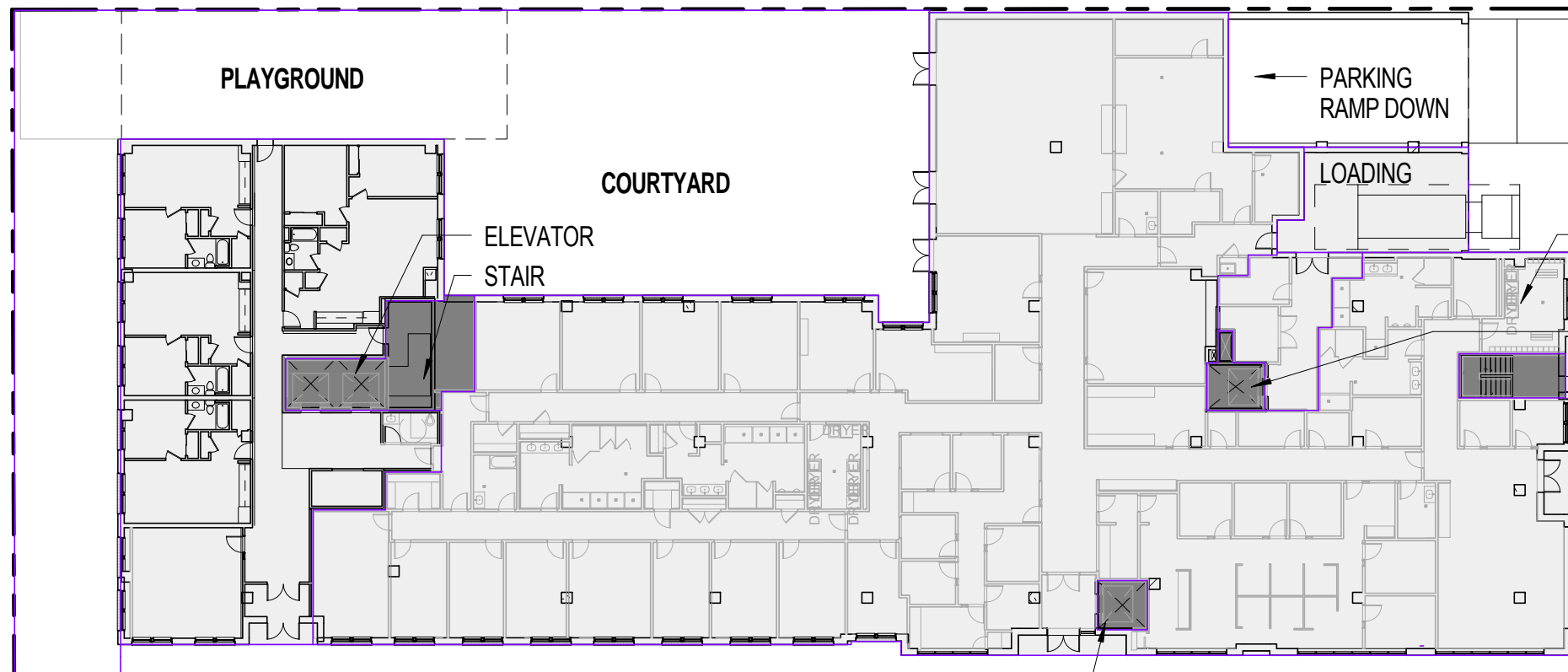
LEVEL B1-PARKING

MULTI-FAMILY
CARPENTER'S SHELTER

OCCUPANCY DIAGRAM



3 ZONING PLAN - LEVEL 3
A 2.10 SCALE: 1" = 30'-0"



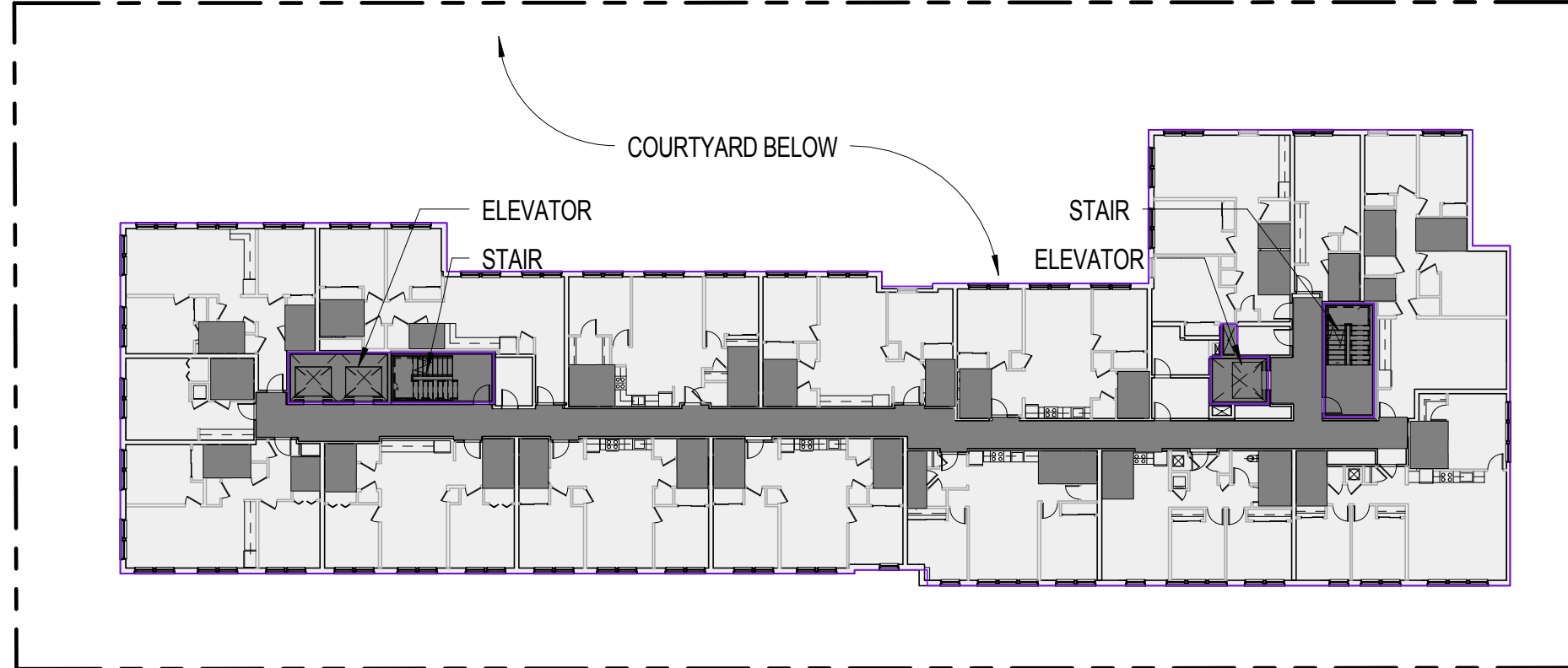
1 ZONING PLAN - LEVEL 1
A 2.10 SCALE: 1" = 30'-0"

AREA DEDUCTIONS AT RESIDENTIAL LEVEL 3

SHAFTS, STAIRWELLS 708 SQUARE FEET
LOWERED CEILING HEIGHT 2,842 SQUARE FEET
(INCLUDES CORRIDOR AND UNIT RESTROOMS)
TOTAL AREA DEDUCTION AT FLOOR 3,550 SQUARE FEET

AREA DEDUCTIONS AT RESIDENTIAL LEVEL 1

SHAFTS, STAIRWELLS 888 SQUARE FEET
TOTAL AREA DEDUCTION AT FLOOR 888 SQUARE FEET



4 AREA PLAN - TYPICAL LEVEL
A 2.10 SCALE: 1" = 30'-0"

AREA DEDUCTIONS AT RESIDENTIAL LEVEL 4-7

SHAFTS, STAIRWELLS 708 SQUARE FEET
LOWERED CEILING HEIGHT 2,985 SQUARE FEET
(INCLUDES CORRIDOR AND UNIT RESTROOMS)
TOTAL AREA DEDUCTION AT FLOOR 3,693 SQUARE FEET

AREA DEDUCTIONS AT RESIDENTIAL LEVEL 2

SHAFTS, STAIRWELLS 708 SQUARE FEET
LOWERED CEILING HEIGHT 3,985 SQUARE FEET
(INCLUDES CORRIDOR AND UNIT RESTROOMS)
TOTAL AREA DEDUCTION AT FLOOR 4,693 SQUARE FEET

BUILDING CODE SUMMARY

USE GROUP:	PRIMARY OCCUPANCY: R2 SECONDARY OCCUPANCIES: STORAGE, S-2 PARKING DECK, BUSINESS, B: GENERAL OFFICE ASSEMBLY, A2 (UNCONCENTRATED W/O SEATING); DAVID'S PLACE.
CONSTRUCTION TYPE:	TYPE IIB: BELOW GRADE PARKING, FLOORS 1 AND 2 TYPE IIB: FLOORS 3-7
BUILDING HEIGHT:	7 STORIES ABOVE GRADE 1 STORY BELOW GRADE 88'-0" FROM GRADE TO LEVEL 7 (HIGHEST OCCUPIED STORY) - NOT A HIGH RISE
FIRE PROTECTION:	FULLY SPRINKLERED IN COMPLIANCE WITH NFPA 13

FAR TABLE

	GROSS FLOOR AREA	NET DEDUCTION	NET FLOOR AREA
LEVEL B1	35,451	35,451	0
LEVEL 1 - CARPENTER'S SHELTER (COMMERCIAL)	17,220	80	17,135
LEVEL 1 - MULTI-FAMILY (RESIDENTIAL)	5,454	800	4,651
LEVEL 1 - LOADING/BOH	1,165	0	1,165
LEVEL 2	20,643	4,883	17,055
LEVEL 3	16,723	3,550	13,135
LEVEL 4	16,723	3,666	13,135
LEVEL 5	16,723	3,666	13,135
LEVEL 6	16,723	3,666	13,135
LEVEL 7	16,723	3,666	13,135
TOTAL	163,548	59,238	104,310

FAR (NET AREA / SITE AREA) 2.91 (105,081 SF / 35,792 SF)

NOTES:

- NET DEDUCTIONS INCLUDE STAIRS, SHAFTS AND UNIT BATHROOMS. CEILINGS IN UNIT BATHROOMS WERE LOWERED BELOW A 7'-8" FINISHED HEIGHT. AREA DEDUCTIONS ARE PER CITY OF ALEXANDRIA ZONING ORDINANCE 2-145.
- LEVEL B-1 PARKING AREA IS NOT INCLUDED IN FLOOR AREA RATIO CALCULATION
- MAX FAR ALLOWED: 3.0
BASE FAR = 2.5 IN CRMU-H WHERE >50% OF PROPOSED FLOOR SPACE IS RESIDENTIAL (PER 5-305)
ADD 20% BONUS FOR PROVISION OF LOW AND MODERATE INCOME UNITS (PER 7-700)
TOTAL FAR ALLOWED = 2.5 X 1.2 = 3.0
FAR PROVIDED: 2.91
- FAR OF COMMERCIAL AREA ONLY (ENTIRE CARPENTER'S SHELTER) IS 0.48.

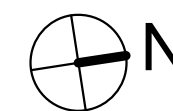
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SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____
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1	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
2	COMPLETENESS SUB #2	09/16/2016

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930 North Henry Street
Alexandria, VA 22314

AHDC / Carpenter's Shelter

AREA PLANS AND
OCCUPANCY DIAGRAM

DAVID KITCHENS

Principal-in-Charge

PROJECT MANAGER

Project Manager

PROJECT ARCHITECT

Project Architect

STAFF ARCHITECT

Staff Architect

20140266

Project No.

08/31/16

Date

A 2.10

Drawing No.

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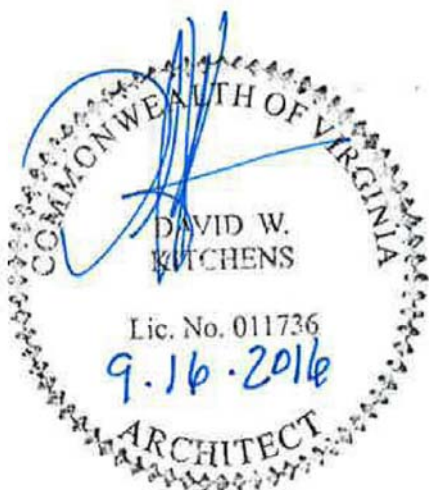
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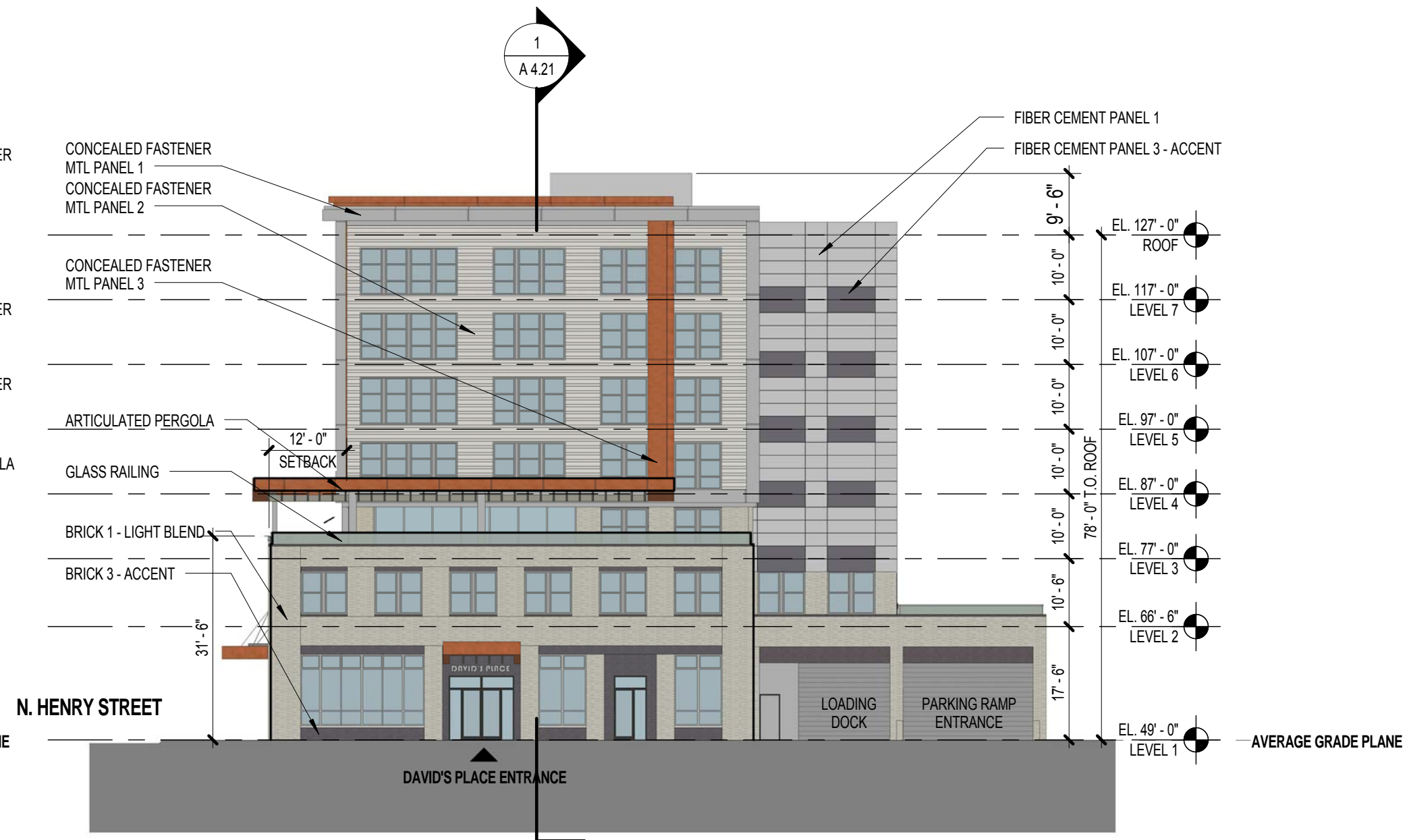
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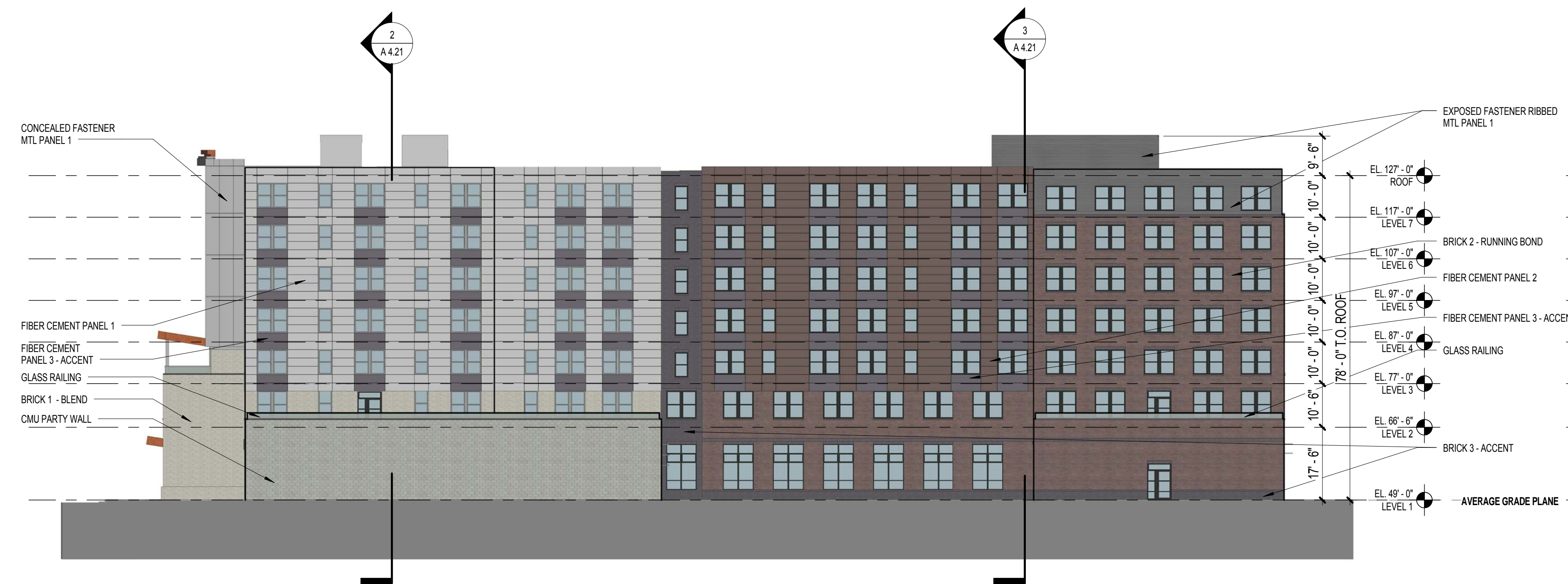
ISSUANCES		
No.	Drawing Issue Description	Date
1	CONCEPT II SUBMISSION	04/15/2016
2	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
3	COMPLETENESS SUB #2	09/16/2016



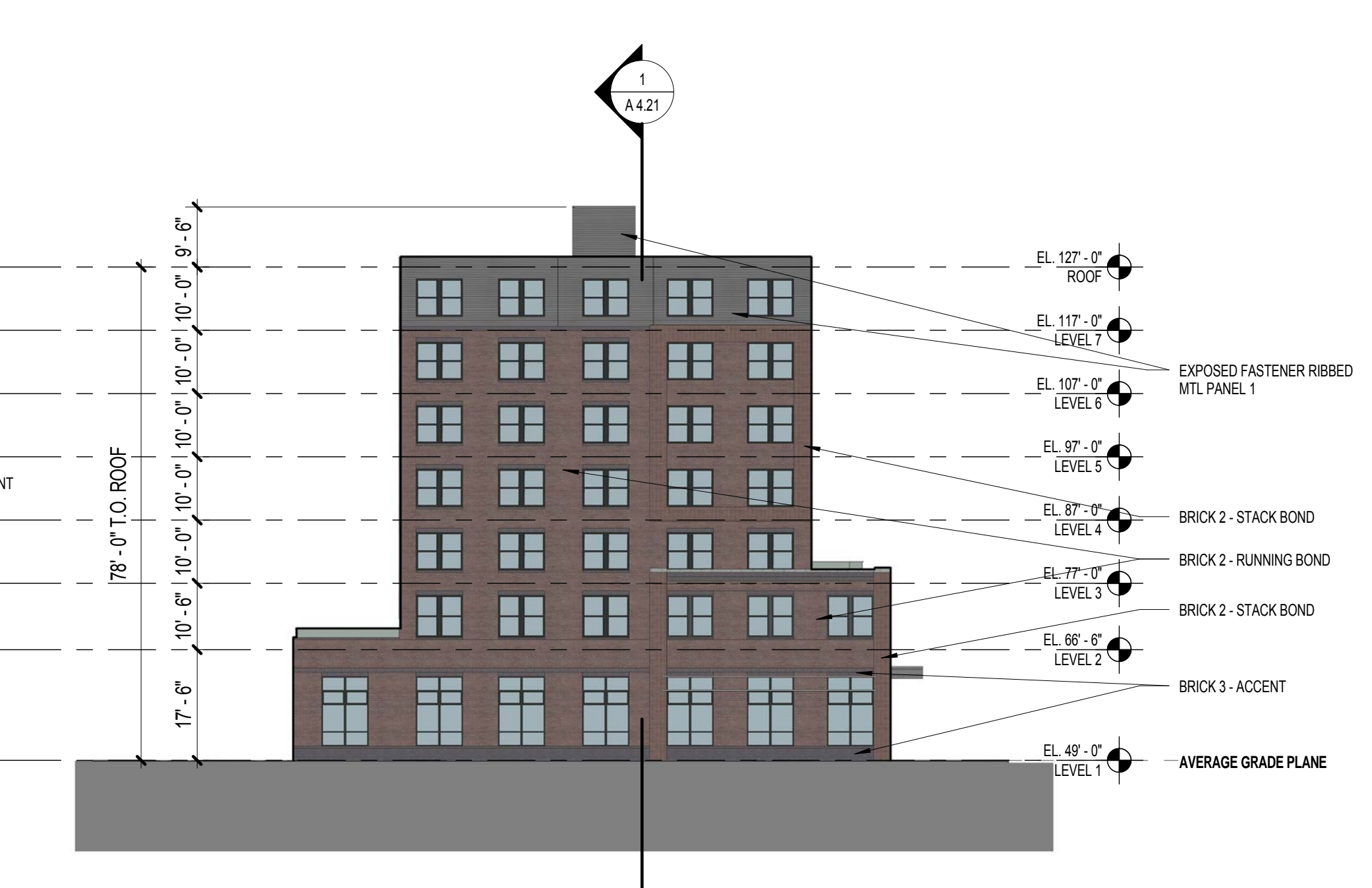
4 EAST ELEVATION - N. HENRY STREET
A 4.01 SCALE: 1" = 20'-0"



3 NORTH ELEVATION - FIRST STREET
A 4.01 SCALE: 1" = 20'-0"



2 WEST
A 4.01 SCALE: 1" = 20'-0"



1 SOUTH
A 4.01 SCALE: 1" = 20'-0"

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INSTRUMENT NO. _____	DEED BOOK NO. _____
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BUILDING ELEVATIONS

DAVID KITCHENS	20140266
Principal-in-Charge	Project No.
PROJECT MANAGER	08/31/16
Project Manager	Date
PROJECT ARCHITECT	
Project Architect	
STAFF ARCHITECT	
Staff Architect	

A 4.01

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PROJECT NUMBER: 20140266 PROJECT NAME: AHDC / Carpenter's Shelter
SHEET NUMBER: A.4.01 - BUILDING ELEVATIONS
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ISSUANCES		
No.	Drawing Issue Description	Date
1	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
2	COMPLETENESS SUB #2	09/16/2016



2 EAST ELEVATION
A 4.10 SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION
A 4.10 SCALE: 1/16" = 1'-0"

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DIRECTOR _____	DATE _____
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SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
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Alexandria, VA 22314

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BUILDING MASSING

DAVID KITCHENS	20140266
Principal-in-Charge	Project No.
PROJECT MANAGER	08/31/16
Project Manager	Date
PROJECT ARCHITECT	
Project Architect	
STAFF ARCHITECT	
Staff Architect	

A 4.10



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ISSUANCES		
No.	Drawing Issue Description	Date
	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2011
	COMPLETENESS SUB #2	09/16/2011

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3D PERSPECTIVE

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_____ DIRECTOR	_____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICE	
SITE PLAN NO. _____	
_____ DIRECTOR	_____ DATE
CHAIRMAN, PLANNING COMMISSION _____ DATE _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

Designer	20140266
Principal-in-Charge	Project No.
Approver	08/08/16
Project Manager	Date
Checker	
Project Architect	
Author	
Staff Architect	

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PROJECT NUMBER: 20140268 PROJECT NAME: AHDC / Carpenter's Shelter
SHEET NUMBER: A.4.11 - 3D PERSPECTIVE
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PROJECT NUMBER: 20140266 PROJECT NAME: AHDC / Carpenter's Shelter
SHEET NUMBER: A-4.12 - 3D PERSPECTIVE
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DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

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No.	Drawing Issue Description	Date
1	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
2	COMPLETENESS SUB #2	09/16/2016

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3D PERSPECTIVE

Designer	20140266
Principal-in-Charge	Project No.
Approver	08/08/16
Project Manager	Date
Checker	
Project Architect	
Author	
Staff Architect	

A 4.12

Drawing No.

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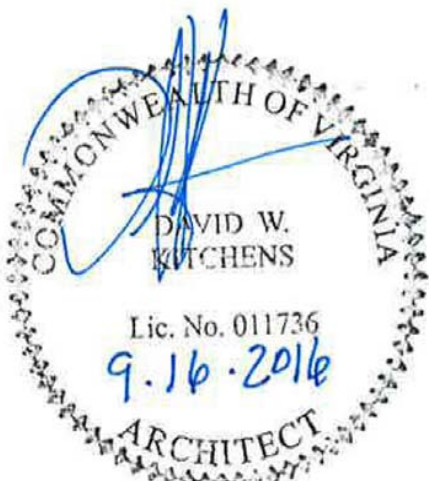
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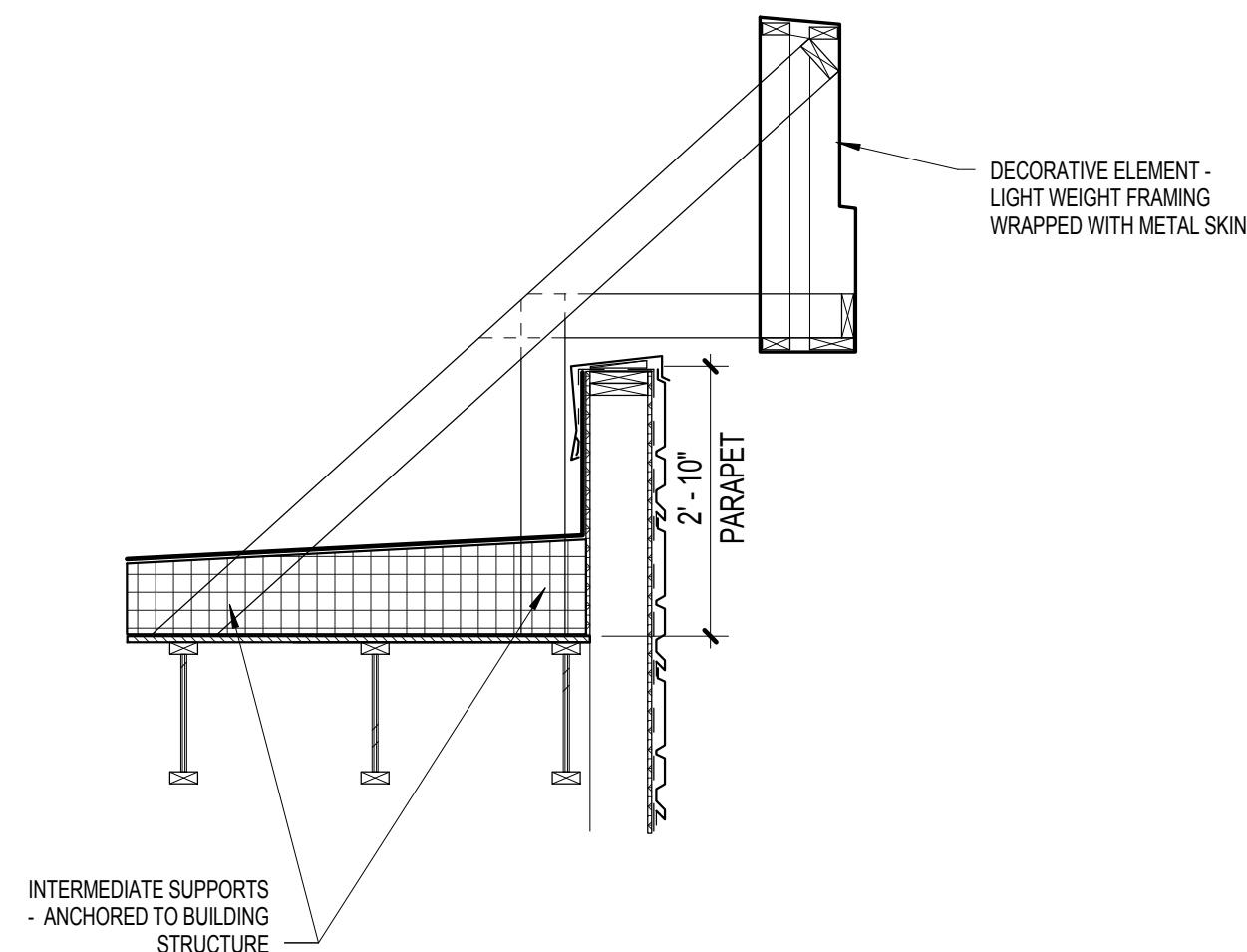
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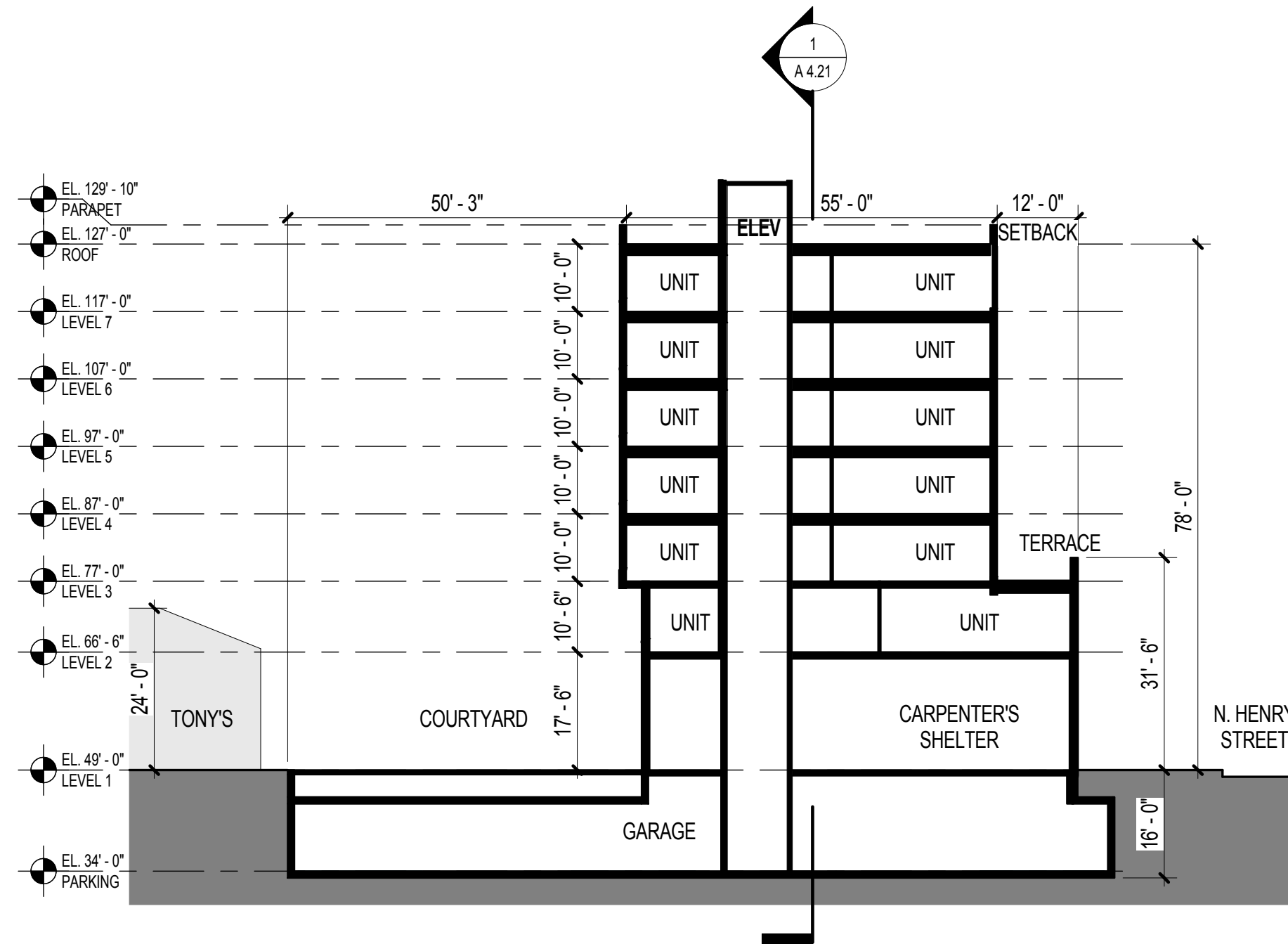
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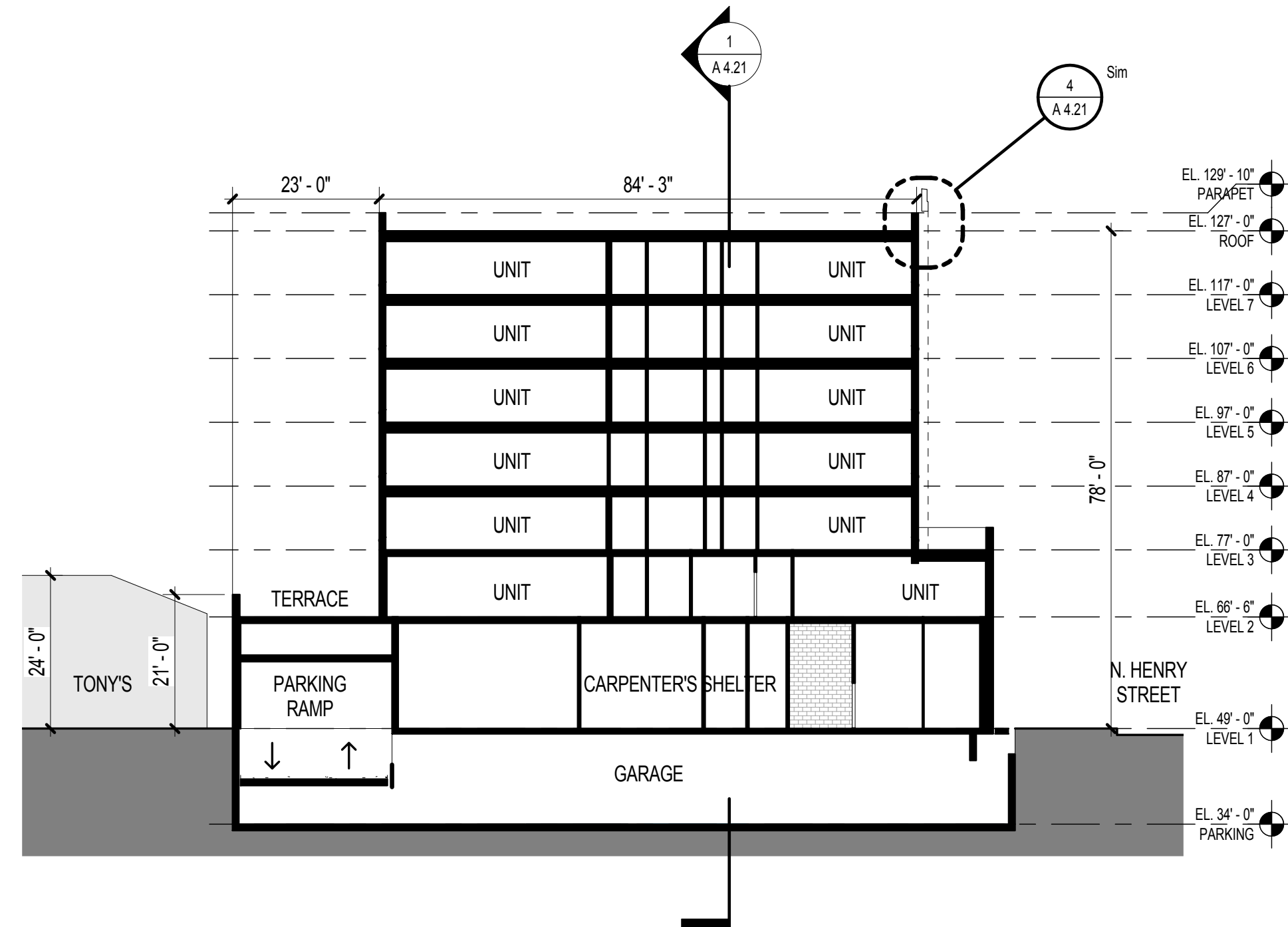
ISSUANCES		
No.	Drawing Issue Description	Date
1	CONCEPT II SUBMISSION	04/15/2016
2	DEVELOPMENT PRELIMINARY SITE PLAN	08/08/2016
3	COMPLETENESS SUB #2	09/16/2016



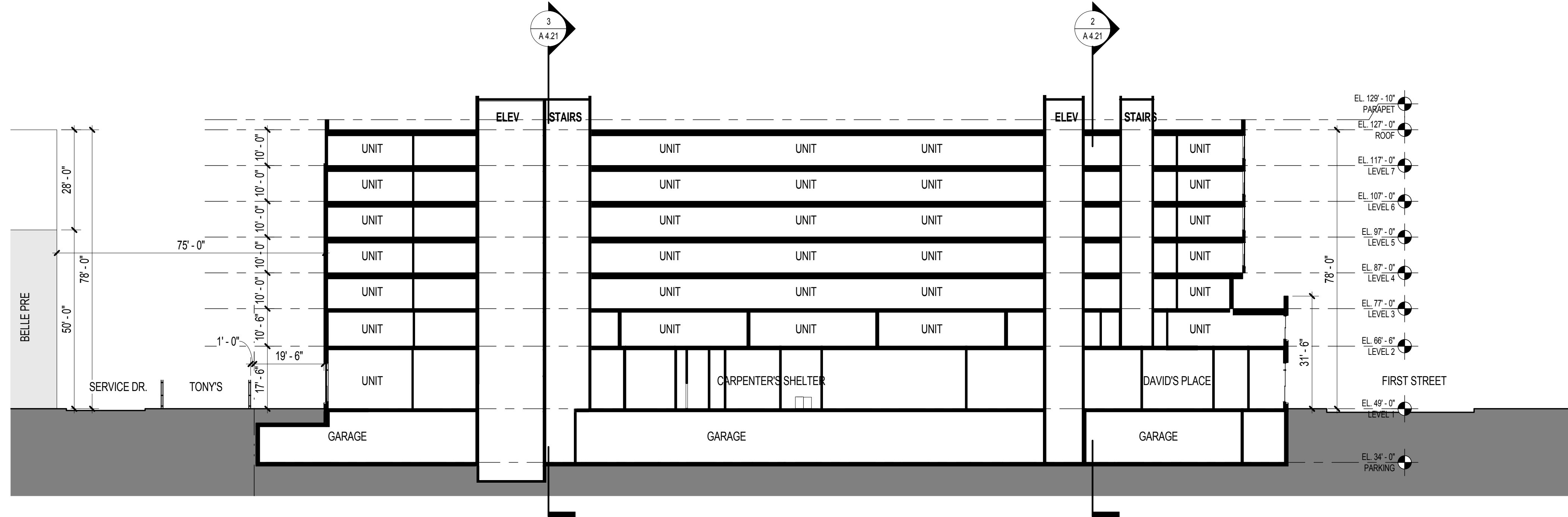
4 BUILDING PARAPET AND DECORATIVE ELEMENT ABOVE
A 4.21 SCALE: 1/2" = 1'-0"



3 CONCEPT SECTION - EAST WEST (1)
A2.91 A 4.21 SCALE: 1" = 20'-0"



2 CONCEPT SECTION - EAST WEST (2)
A2.91 A 4.21 SCALE: 1" = 20'-0"



1 CONCEPT SECTION - NORTH SOUTH
A2.91 A 4.21 SCALE: 1" = 20'-0"

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BUILDING SECTIONS

DAVID KITCHENS	20140266
Principal-in-Charge	Project No.
PROJECT MANAGER	08/31/16
Project Manager	Date
PROJECT ARCHITECT	
Project Architect	
STAFF ARCHITECT	
Staff Architect	

A 4.21

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SHEET NUMBER: A4.21 - BUILDING SECTIONS
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